

APPLICATION for LAND USE BOARD

DISCLOSURE STATEMENT: Pursuant to N.J.S.A. 40:55-D-48.1, the names and addresses of all persons owning 10% of the stock in a corporate applicant or 10% interest in any partnership applicant must be disclosed. In accordance with N.J.S.A. 40:55D-48.2 that disclosure requirement applies to any corporation or partnership which owns more than 10% interest in the applicant followed up the chain of ownership until the names and addresses of the non-corporate stockholders exceeding the 10% ownership criterion have been disclosed. (Attach pages as necessary to fully comply.)

Name Judith Vedutis
Address 270 Chestnut Street, Westville, NJ 08093
Interest 100%

Name _____
Address _____
Interest _____

Name _____
Address _____
Interest _____

If owner is other than the applicant, provide the following information on the owners(s):

Owner's Name: _____

Owner's Address: _____

Telephone Number: Day _____ Evening _____

PROPERTY INFORMATION:

Restrictions, covenants, easements, association by-laws, existing or proposed on the property:

Yes (attach copies) No Proposed

Note: All deed restrictions, covenants, easements, association by-laws, existing and proposed must be submitted for review and must be written in easily understandable English in order to be approved.

PRESENT USE OF THE PREMISES: Residential Home of Applicant

Applicant's Attorney: Ronald P. Sierzega, Esquire - Puff & Cockerill LLC

Address: 122 Delaware Street, PO Box 684, Woodbury, NJ 08096

Telephone No.: Day 856-845-0011 Fax 856-845-1805 E-mail rsierzega@pufflaw.com

APPLICANT'S ENGINEER: _____

Address: _____

Telephone No.: Day _____ Fax _____ E-mail _____

APPLICANT'S PLANNING CONSULTANT: _____

Address: _____

Telephone No.: Day _____ Fax _____ E-mail _____

APPLICANT'S TRAFFIC ENGINEER: _____

Address: _____

Telephone No.: Day _____ Fax _____ E-mail _____

List any other expert who will submit a report or who will testify for the Applicant:

(Attach additional sheets as may be necessary.)

Name: _____

Field of Expertise: _____

Address: _____

Telephone Number: _____

FAX Number: _____

RELIEF BEING REQUESTED FROM THE LAND USE BOARD

SUBDIVISION:

Major Subdivision Minor Subdivision Approval

Subdivision Approval (PRELIMINARY)

Subdivision Approval (FINAL)

Number of lots to be created _____ Number of proposed dwelling units _____
(Including remainder lot) (If applicable)

SITE PLAN:

Major Site Plan Approval Minor Site Plan Approval

Preliminary Site Plan Approval (Phases, if applicable ____)

Final Site Plan Approval (Phases, if applicable ____)

Amendment or Revision to an Approved Site Plan

Area to be disturbed (Square Feet)

Total number of proposed dwelling units _____

Request for Waiver from Site Plan Review & Approval

Reason for request:

Informal Review of

Appeal decision of an Administrative Officer (N.J.S.A. 40:55D-70a) Describe nature of

Appeal: _____

Map or Ordinance Interpretation of Special Question N.J.S.A. 40:55D-70b)
Description

VARIANCE RELIEF (HARDSHIP) [N.J.S.A. 40:55D-70C (1)] PROVIDE REASONS:

Variance Relief (substantial benefit) [N.J.S.A. 40:55D-70c (2) Provide reasons:

Variance Relief (use) [N.J.S.A. 40:55D-70d Provide reasons: *See attached*

Conditional Use Approval [N.J.S.A. 40:55D-67] Cite applicable section of the Ordinance

Direct issuance of a permit for a structure within a mapped street, public drainage way, or flood control basin [N.J.S.A. 40:55D-34] Describe:

Direct issuance of a permit for a lot lacking street frontage [N.J.S.A. 40:55D-35]
Block __ Lot __. Reason for Request:

Section(s) of Ordinance from which a variance is requested:

Sec. 205-55 Sec. 205-44

Waivers Requested of Development Standards and/or Submission Requirements:
[Attach additional pages as needed.]

Attach a copy of the Notice to appear in the official newspaper of the municipality and to be mailed to the owners of all real property, as shown on the current tax duplicate, located within the Borough and within 200 feet in all directions of the property which is the subject of this application. The Notice must specify the sections of the Ordinance from which relief is sought, if applicable. **The publication and the service on the affected owners must be accomplished at least ten (10) days prior to the date scheduled by the Administrative Officer for the hearing.**

An affidavit of service on all property owners and a proof of publication must be filed before the application will be complete and the hearing can proceed.

Explain in detail the exact nature of the application and the changes to be made at the premises, including the proposed use of the premises: [Attach pages as needed.]

SITE PLAN:

Have any proposed new lots been reviewed with the County Office of Assessment to determine appropriate lot and block numbers? No

Are any off-tract improvements required or proposed? Explain: No

Is the subdivision to be filed by Deed or Plot? No

What form of security does the applicant propose to provide as performance and maintenance guarantees? N/A

Other approvals that may be required and date plans submitted:

DEPARTMENT	Yes	No	Date Plans Submitted
Westville Fire Department/Fire Marshall		✓	
Westville Police Department/Chief of Police		✓	
Gloucester County Planning Board		✓	
Gloucester Soil Conservation District		✓	
NJ Department of Environmental Protection		✓	
" Sewer Extension Permit		✓	
" Sanitary Sewer Connection Permit		✓	
" Stream Encroachment Permit		✓	
" Waterfront Development Permit		✓	
" Wetlands Permit		✓	
" Tidal Wetlands Permit		✓	
" Potable Water Construction Permit		✓	
Other		✓	
Department of Transportation		✓	
Public Service Electric & Gas Company		✓	
Downtown Redevelopment Committee/Downtown Preservation/Streetscape Plan		✓	

Property Taxes and/or Assessments for local improvements levied against all properties involved in the application have been paid through September 30, 2020. This application shall not be considered unless all taxes or assessments are paid current to the Borough of Westville. A CERTIFICATION FROM THE TAX COLLECTOR CONFIRMING THAT ALL TAXES AND ASSESSMENTS HAVE BEEN PAID MUST BE SUBMITTED WITH THIS APPLICATION.

List of Maps, Plans, Reports and other materials accompanying the application (attach additional pages as required for complete listing.)

*It is the responsibility of the applicant to mail or deliver copies of the application form and all supporting documents to the members of the professional staff (Board Engineer, Planning Consultant, and Solicitor) for their review. The documentation must be received by the professional staff at least thirty (30) business days prior to the meeting at which the application is to be considered, otherwise the application will be deemed incomplete. **A list of the professional staff is attached to the application form.***

Is the property located within the Downtown Redevelopment Area? Yes [] No [].

Is the property located within the area designated as a Redevelopment Zone? Yes [] No []

If yes, has application been made for approvals from the Downtown Redevelopment Committee?
Yes [] No []

From Mayor and Council if in the Redevelopment Zone? Yes [] No []

The Applicant hereby requests that copies of the reports of the professional staff reviewing the application be provided to the following of the applicant's professionals:

Applicant's Professional(s)

[] Attorney

[] Engineer

[] Planning Consultant

[] Traffic Consultant

[] Other

Reports Requested

Any

BOROUGH OF WESTVILLE ~ SITE PLAN CHECKLIST

The following checklist is designed to assist applicants in preparing site plans for review by the Land Use Board. Applicant should check off each item to ensure that it is included on the plan. ITEMS OMITTED MAY DELAY CONSIDERATION BY THE BOARD. Utility plans, landscaping plans, architectural elevations, etc., may be shown on separate sheets.

- Name and title of applicant, owner and person preparing map
- Place for signature of Chairman and Secretary of Land Use Board
- Place for signature of Land Use Board Engineer
- Tax map lot and block number
- Date plans prepared and all revisions; scale-written and graphic, and North Arrow
- Key map of the site with reference to surrounding areas and existing street locations
- Zone district in which property in question falls, zone district of adjoining properties and all property within 200' radius of the property in question
- Names of owners of all contiguous land and adjacent property
- Dimensions of lot, front yard, side yard and rear yard setbacks; size, kind and location of fences
- Location, size and height dimensions and details of all signs, including site identification signs, traffic control signs and directional signs
- Lighting plan with location and type of all exterior fixtures, wattage, isolux footcandle lines at grade, pole type and details.
- The outside dimensions of existing and/or proposed principal building(s) and all accessory structures
- Storm drainage plan showing location of inlets, pipes, swales, berms and other storm drainage facilities including roof leaders. Indicate existing and proposed runoff calculations
- Rights-of-way, easements and all lands to be dedicated to the municipality or reserved for specific uses
- The entire property in question, even though only a portion of said property is involved in the site plan; provided, however, where it is physically impossible to show the entire property on the required sheet, a separate map at an appropriate scale may be submitted
- Significant existing physical features including streams, water courses, rock outcrops, swampy soil, etc.
- Bearings and distances of property lines
- Plans of off-street parking area layout and off-street loading facilities showing location and dimensions of individual parking spaces, loading areas, aisles, traffic patterns and driveways for ingress and egress
- All driveways and streets within 100 feet of site
- All existing and proposed curbs and sidewalks
- All existing and proposed utility lines within and adjacent to the subject property
- Typical floor plans and elevations
- Existing and proposed on-site and off-site sanitary sewer system
- Existing and proposed on-site and off-site water system and fire suppression system
- Method of solid waste disposal and storage
- Existing and proposed spot elevations based upon the U.S. Coastal Geodetic datum at all building corners, all floor levels, center lines of abutting roads, top and bottom curbs, property corners, gutter and other pertinent locations
- Existing proposed contours of site at 2 foot intervals for areas of less than 5 percent grade and 5 foot intervals above 5 percent grade
- Location of all existing trees or tree masses, indicating general sizes and species of trees
- Landscaping and buffering plan showing what will remain and what will be planted, indicating names of plants and trees and dimensions, approximate time of planting and method of planting (base rooted, ball and burlap)
- And other pertinent information as may be required by the Land Use Board

CERTIFICATIONS

I CERTIFY THAT the foregoing statements and materials submitted are true. I further certify that I am the individual applicant or that I am an Officer of the Corporate applicant and that I am authorized to sign the application for the Corporation or that I am a general partner of the partnership applicant.

Sworn to and subscribed before me this 12 Day of August, 2020.

[Signature]

NOTARY PUBLIC
Attorney at Law
State of New Jersey

Judith Vedutis
SIGNATURE OF APPLICANT

I CERTIFY THAT I AM THE Owner of the property which is the subject of this application, that I have authorized the applicant to make this application and that I agree to be bound by the application, the representations made and the decision in the same manner as if I were the applicant. [If the applicant is a corporation this must be signed by an authorized corporate officer. If the applicant is a partnership, this must be signed by a general partner.]

Sworn to and subscribed before me this 14 Day of August, 2020.

[Signature]

NOTARY PUBLIC
Attorney at Law
State of New Jersey

Judith Vedutis
SIGNATURE OF OWNER

I understand that the sum of \$ _____ has been deposited in an escrow account. In accordance with the Ordinances of the Borough of Westville, I further understand that the escrow account is established to cover the cost of professional services including engineering, planning, legal and other expenses associated with the review of submitted materials and the publication of the decision by the Board. Sums not utilized in the review process shall be returned. If additional sums are deemed necessary, I understand that I will be notified of the required additional amount and shall add that sum to the escrow account within thirty (30) days. I FURTHER UNDERSTAND, ACKNOWLEDGE AND AGREE THAT ANY DECISION MADE REGARDING MY APPLICATION SHALL BE SUBJECT TO THE PAYMENT OF ALL ESCROWS DUE AND OWING UPON A FINAL DETERMINATION OF THIS APPLICATION, AND THAT A FAILURE TO PAY ALL ESCROW SUMS DUE WILL RESULT IN LEGAL ACTION BEING TAKEN AGAINST ME, INCLUDING LIENS AGAINST ANY PROPERTY THAT I MAY OWN (IF PERMISSIBLE) AND THAT I WILL BE FURTHER RESPONSIBLE FOR THE PAYMENT OF ALL LEGAL FEES OR FURTHER RESPONSIBLE FOR THE PAYMENT OF ALL LEGAL FEES OR OTHER COSTS OF COLLECTION INCURRED BY THE BOROUGH OF WESTVILLE ASSOCIATED WITH THE BOROUGH'S EFFORTS TO OBTAIN ALL SUCH AMOUNTS OWED BY ME.

8-14-20
Date

Judith Vedutis
Signature of Applicant/Owner

PUFF & COCKERILL LLC

Attorneys at Law

Jeffrey V. Puff
Christine C. Cockerill *^o
Barbara Barclay Moore
Jonathan R. Ivans
Ronald P. Sierzega
Robert W. MacFeeters

*Member of NJ and PA Bars

^o Fellow of the American Academy of
Assisted Reproductive Technology Attorneys

Reply to:

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Pitman, NJ 08071

Camden County Office:
205 N. Haddon Avenue
Haddonfield, NJ 08033

Email: rsierzega@pufflaw.com
File No. 11584

August 14, 2020

VIA HAND DELIVERY

Borough of Westville
Planning and Zoning Board
ATTN: Nicole L. O'Hara
165 Broadway
Westville, NJ 08093

Re: Application for Use Variance and/or Conditional Use Approval
Property: 270 Chestnut Street, Block 71, Lot 11, Westville
Applicant: Judith A. Vedutis

Dear Westville Land Use Board:

Please allow this letter brief to serve in lieu of a more formal brief in support of applicant's use variance/conditional use approval before the Westville Land Use Board. In the present matter before the Board, Judith A. Vedutis (hereinafter the "the Applicant") seeks the Board's approval for a use variance and/or conditional use approval for the property known as 270 Chestnut Street, Westville, NJ, Block 71, Lot 11 (hereinafter the "Property"). The Property consists of a house with an upstairs apartment with a separate entrance. Currently the Property is zoned an R-1 District which, under Section 205-44 of the Westville Municipal Code only allows for single family dwellings. Applicant seeks a use variance therefrom to allow for a tenant in the upstairs apartment. Furthermore, under Section 205-55, Westville allows the conversion of a dwelling to multiple family use in an R-1 Residential District and therefore conditional use approval is warranted in this case.

The present application for the above variance would permit Applicant to have a tenant to occupy the upstairs apartment. The permits have already been obtained and the Property has already been converted into a duplex. However, since the work has already been done and the permits have already been obtained, the only difference is a procedural and legal issue of the zoning classification of the property.

As stated above, Westville is aware that the Property has undergone renovations, as Westville received the permits, reviewed the permits, granted the permits and construction was completed. Attached to this brief are the architectural drawings and the construction documentation showing the work completed and monies spent. As the applicant has already converted the property, the remaining issue is a legal issue as to whether this can be a change of use. Westville has been and remains aware that the Applicant is seeking a change of use and granted and approved the permits for construction on the Property.

Overall, a hardship to the Applicant is already there, meaning that she has already spent the money to convert the property to a duplex and received the proper approvals by way of permits from the Borough. The substantial benefit is renovated units in the Borough that would generate additional ratables for the Borough and would help strengthen and build the character of the Borough with new renovation and housing. The Applicant would welcome an inspection by the Code Official to review the property if necessary. Drawings from the architect and the construction company are attached as well as the permits.

In this case, the Applicant seeks to utilize the additional space as a separate apartment. Under Section 205-55 of the Borough of Westville Code entitled "Conversion of dwelling to multiple-family use", the Land Use Board may authorize as a conditional use the conversion of any dwelling existing in a R-1 Residential District into a dwelling for not more than two families under such conditions that the Land Use Board may prescribe as appropriate. It is submitted that in this situation, all reasonable conditions are already met, including the permitting and the separate entrance. The positive criteria for a use variance and/or conversion substantially outweigh the negative criteria and the Board may approve the present use variance with full legal support. Under Section 205-55, the proposed use of the Property is compatible with the permitted use in the R-1 District, the Property is already suitable for the intended use, and the use will serve the best interest of Westville. Accordingly, the Applicant respectfully requests this Board's approval for a use variance and conditional use approval for a tenant to occupy the upstairs apartment.

As required for a use variance, pursuant to Municipal Land Use Law ("MLUL") N.J.S.A. 40:55-1 et seq., the balancing of the positive and negative criteria for the proposed use substantially outweigh the negative criteria, which is slight.

Submitted Documents in Support

Applicant has submitted the following documents in support of the present application:

Exhibit "A" – Permits and applications

Exhibit "B" – Architectural drawings by David J. Barici, RA for the Vedutis residence

Exhibit "C" – Kojeski Construction documentation, scope of work and building repair agreement along with Gibson Electrical and General Contractors, Inc. invoices

Positive Criteria

a. Promote the general Welfare. The tenant's proposed use will promote the general welfare of Westville. The Property has already been converted to a duplex. The Property will now bring added ratables to Westville and be used for its highest and best use. The upstairs portion, with its separate entrance, will be used and not vacant.

b. Promote the Property. Having a tenant in the upstairs apartment of the duplex will promote the Promote the property and provide ratables for Westville. Further, under Section 205-55, the intended use is harmonious with the permitted uses in the zone plan. The use does not injure or detract from the use of the Property (or neighboring property).

c. Uses consistent with intent and purpose of the master plan and zoning ordinance. For the same reasons, especially given Section 205-55 allowing for such a conversion, and considering the work has already been done, permitted, and paid for, this use is consistent with master plan and zoning ordinance.

Moreover, the proposed use will not detract from the character of the neighborhood. In fact, allowing a tenant will make the Property more desirable.

d. Undue hardship. The Applicant would suffer undue hardship if this work, for which permits were obtained and significant and substantial monies were spent were not allowed to be rented. The proposed use is for the exact purpose allowed by Section 205-55. A denial of the permitted use would create an undue hardship on the Applicant and unnecessarily restrict an R-1 District.

Negative Criteria

As required by the MLUL, an applicant for a use variance is required to show that the positive criteria outweigh the negative criteria, if any, for the proposed use. Accordingly, the MLUL provides that no relief may be granted unless it can be done: (1) without substantial detriment to the public good; and (2) without substantially impairing the intent and purpose of the zone plan and zoning ordinance.

As outlined in the Positive Criteria section, not only is there no substantial detriment or substantial impairment, there is no detriment or impairment at all. The public will not be substantially harmed by the use of the upstairs apartment for a tenant. Substantial detriments to the public good focus on the variance's impact on nearby properties.

In the present matter, the proposed use will neither impact nor damage the character of the neighborhood and certainly not to the extent of substantial detriment. In our opinion, there is no negative impact on the public good. Instead, there are only positive impacts on the public good. Moreover, the intent and purpose of the zone plan and zoning ordinance will not be substantially impaired by the use for a variance. This type of variance is specifically contemplated by Section 205-55. The proposed use will utilize an upstairs apartment. Accordingly, it is our belief that the negative

Borough of Westville

August 14, 2020

Re: Application for Use Variance and/or Conditional Use Approval

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requirement of a substantial detriment to the intent and purpose of the zone plan and zoning ordinance is also absent in the present use variance application.

Therefore, when balancing the positive criteria with the negative criteria, the positive criteria substantially outweighs any negative criteria.

Conclusion

Based upon the foregoing, it is respectfully submitted that the use variance and/or conditional use approval be approved by this Board. The Applicant and tenant look forward to addressing any additional questions regarding the Property, the intended use, and any additional questions before the Board at its upcoming hearing.

Thank you.

Respectfully submitted,
PUFF & COCKERILL LLC

By: Ronald P. Sierzega, Esq.

RPS/kw

Enclosures

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EXHIBIT A



CONSTRUCTION PERMIT APPLICATION

Applicant Completes: Sections I, II, III (optional), IV, VI, and VII

I. IDENTIFICATION

1. Proposed Work Site at: 220 Chestnut Street

2. Name of Owner in Fee: Judith Vedutis
 Tel. (856) 217-1166 e-mail _____
 Address 220 Chestnut St. Westville NJ 08093 zip code _____

3. Ownership in Fee: Public Private Municipality _____

4. Principal Contractor: Gibson Electrical & General Contractors, Inc. (856) 346-3388
 Address 1016 Jarvis Road - Sicklerville, NJ 08081 e-mail _____
 License No. OR, if new home, Builder Reg. No. 14748 Exp. Date 2015
 Home Improvement Contractor Registration No. or Exemption Reason (if applicable): _____
 Federal Emp. ID No. 20-4033847 FAX: (856) 346-3308

5. Architect or Engineer
 Address _____ Contact _____
 Tel. (_____) FAX: (_____)
 e-mail _____

6. Responsible Person in Charge once Work has Begun Gibson Electrical
 Tel. (856) 346-3388 FAX: (_____)

IIa. PROPOSED WORK

Minor Work
 Repair
 Asbestos Abat. -Subch. 8
 New Building
 Alteration
 Lead Hazard Abatement
 Addition
 Renovation
 Radon Remediation
 Demolition
 Reconstruction
 Annual Permit

IIb. SUBCODES
(Check all that apply)

<input type="checkbox"/> Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Demolition
<input checked="" type="checkbox"/> Electrical	<input type="checkbox"/> Renovation	<input type="checkbox"/> Reconstruction
<input type="checkbox"/> Plumbing	<input type="checkbox"/> Lead Hazard Abatement	<input type="checkbox"/> Annual Permit
<input type="checkbox"/> Fire Protection	<input type="checkbox"/> Radon Remediation	
<input type="checkbox"/> Elevator		

FOR OFFICE USE ONLY (Optional)

Plans Rec'd by	Date Rec'd	Rejection Date	Approval Date	Re-viewer	Resubmission Dates	Re- viewer
					Approval	Rejection

Est. Cost 5000

III. PLAN REVIEW (optional)

DO YOU WANT:

1. Partial Releases

2. Prototype Processing

3. Elevators/Escalators/Lifts/Dumbwaiters/Moving Walks

4. Refrigeration Systems

5. Cross-Connections/Backflow Preventers

6. Hazardous Uses/Places of Assembly

7. Sprinklers

8. Smoke Control Systems in Open Wells

9. Underground Storage Tanks

10. Swimming Pools, Spas and Hot Tubs

TOTAL COSTS 5000

V. FEE SUMMARY (for office use only)

	Update
1. Building	
2. Electrical	
3. Plumbing	
4. Fire Protection	
5. Elevator Devices	
6. Subtotal	
7. Less 20% for State Plan Review	
8. State Permit Surcharge Fee	
9. Subtotal	
10. Cent. of Occupancy	
11. Other	
12. Other	
13. TOTAL	

VI. BUILDINGSITE CHARACTERISTICS

1. Number of Stories _____ (office use only)

2. Height of Structure _____ ft.

3. Area — Largest Floor _____ sq. ft.

4. New Building Area _____ sq. ft.

5. Volume of New Structure _____ cu. ft.

6. Construction Classification _____

7. Total Land Area Disturbed _____ sq. ft.

8. Flood Hazard Zone _____

9. Base Flood Elevation _____ ft.

10. Wetlands yes _____ no _____

11. Max. Live Load _____

12. Max. Occupancy Load _____

VII. DESCRIPTION OF BUILDING USE

A. RESIDENTIAL (primary use)

1. State Specific Use: _____

2. Use Group: _____

3. Change in Use Group, Indicate Former: _____

4. No. of dwelling units: All Units Restricted

Before Construction _____
 After Construction _____
 Net Gain or Loss _____

B. NON-RESIDENTIAL (primary use)

1. State Specific Use: _____

2. Use Group: _____

3. Change in Use Group, Indicate Former: _____

C. MIXED USE -List secondary use(s): _____

CERTIFICATION IN LIEU OF OATH

I. OWNER SECTION (to be completed if the applicant is the owner in fee)

I hereby certify that I am the owner in fee of the property listed on Page 1.

Mark the following applicable boxes:

A. () I further certify that a new home (private residence) will be constructed on this property for my own use and occupancy. This dwelling is to be occupied by myself and is not to be used for any purpose other than single family residential use. I attest that all construction, plumbing, or electrical work will be done, in whole or in part, by me or by subcontractors under my supervision, in accordance with all applicable laws; and, I further acknowledge that said new home is not covered under the New Home Warranty and Builders Registration Act (N.J.S.A. 46:3B-1 et seq.) and that such fact shall be disclosed to any person purchasing this property within ten years of the date of issuance of a certificate of occupancy.

I UNDERSTAND THAT IN MARKING BOX A, I ACKNOWLEDGE THAT I AM ASSUMING RESPONSIBILITY FOR THE WORK DONE ON SAID PROPERTY, THE CONDITION OF THE PROPERTY PRIOR TO, DURING, AND AFTER ANY WORK PERFORMED, AND FOR THE PERFORMANCE OF THE SUBCONTRACTORS I HIRE, EMPLOY, OR OTHERWISE CONTRACT OR WITH WHOM I MAKE AGREEMENTS TO PERFORM WORK. I AM VOLUNTARILY AND KNOWINGLY ASSUMING THIS RESPONSIBILITY.

B. () I further certify the following as required by the New Jersey Uniform Construction Code, N.J.A.C. 5:23-2.15(e)1.ix:

I personally prepared the plans submitted for: 1) the new home referred to in A.; or, 2) an addition, alteration, renovation, or repair to an existing single family residence owned and occupied by myself and located on the property listed on Page 1; or, 3) a new structure that will be physically separate from, but that will be deemed part of, an existing single family residence that is owned and occupied by myself and located on the property listed on Page 1.

C. () I further certify that I will perform or supervise the following work:

- C.1. () Building C.2. () Fire Protection

I further certify that I will perform the following work:

- C.3. () Electrical C.4. () Plumbing

D. () I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I understand that if any of the above statements are willfully false, I am subject to punishment.

Signature _____ Date _____

II. AGENT SECTION (to be completed if the applicant is not the owner in fee)

I hereby certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(d): the proposed work is authorized by the owner in fee; and I have been authorized by the owner in fee to make this application as his agent.

I further certify the following as required by the Uniform Construction Code, N.J.A.C. 5:23-2.15(a)5: All required State, county, and local prior approvals have been given, including such certification as the construction official may require.

I agree to advise all contractors on this project that they are required to be registered with the New Jersey Division of Taxation and to comply with all New Jersey tax laws.

I understand that if any of the above statements are willfully false, I am subject to punishment.

(X) Check if contractor.

Agent Name Gibson Electrical & General Contractors, Inc.

Address 1016 Jarvis Road Sicklerville, NJ 08081

Telephone (856) 346-3388

Signature _____

III. () LEAD HAZARD ABATEMENT: Include Homeowner or Building Owner Affidavit as per N.J.A.C. 5:17.



ELECTRICAL SUBCODE TECHNICAL SECTION 05665



A. IDENTIFICATION - APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block _____ Lot _____ Qualification Code _____
 Work Site Location 270 Chestnut Street
Westville NJ 08093
 Owner in Fee: Judith Veduti's (gary brown)
 Tel. (856) 217-1166 e-mail _____
 Address 270 Chestnut St Westville zip code 08093
 Contractor: Gibson Electrical & General Contractors, Inc. Tel. (856) 346-3388
 Address 1016 Jarvis Road e-mail _____
Sicklerville, NJ 08081
 Contractor License No. 14718 Exp. Date 2012 2015

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): 13VH02797800
 Federal Emp. ID No. 20-4033847 FAX: (856) 346-3308

B. ELECTRICAL CHARACTERISTICS

Use Group Present _____ Proposed _____
 [] Pole/Pad # _____ [] Temporary [] Other _____
 Building Occupied as _____ Utility Co. _____
 Est. Cost of Elec. Work \$ 5,000.00

JOB SUMMARY (Office Use Only)

PLAN REVIEW	INSPECTIONS	Dates (Month/Day)
[] No Plans Required	Type: _____	Failure _____ Approval _____ Initial _____
[] Partial -Underslab Utilities Approved	Rough _____	
Date: _____ Approved by: _____	Barrier-Free _____	
[] Electric Plans Approved	Trench _____	
Date: _____ Approved by: _____	Temp. Serv. _____	
Joint Plan Review Required: _____	Const. Serv. _____	
[] Bldg. [] Plumb. [] Fire. [] Elev.	TCO _____	
SUBCODE APPROVAL for PERMIT	Other _____	
Date: _____	Service Final _____	
Approved by: _____	Barrier-Free _____	
SUBCODE APPROVAL for CERTIFICATE	Temp. Cut-in-Card Date Issued _____	
[] CO [] CCO [] CA	Final Cut-in-Card Date Issued _____	
Date: _____	Annual Pool Inspection _____	
Approved by: _____	Date of Grounding and Bonding Certification _____	

U.C.C. F120 (rev. 11/09) Internet version
 Applicant: When submitting this form to your Local Construction Code Enforcement Office, please provide one original plus three photocopies.

For reorder call: (609) 390-1400, Allegra Marketing • Print • Mail (formerly OCS Printing) or order on the website: www.AllegraMarmora.com

Date Received _____
 Control # _____
 Date Issued _____
 Permit # _____

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.
 Applicant sign/Contractor sign and seal here: _____

Print name here: _____

Licensed Elec. Contractor [] Certifd Landscape Irrigation Contr [] Exempt Applicant

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK: New wire to fire alarm office remove knobs & tubes in basement to 1st floor.

QTY.	SIZE	ITEMS	FEE (Office Use Only)
<u>7</u>		Lighting Fixtures	
<u>10</u>		Receptacles	
<u>3</u>		Switches	
		Detectors	
		Light Poles	
		Motors - Fract. HP	
		Emergency & Exit Lights	
		Communications Points	
		Alarm Devices/F.A.C. Panel	

TOTAL NUMBERS

Pool Permit/with UW Lights	
Storable Pool/Spa/Hot Tub	
KW Elec. Range/Receptacle	
KW Oven/Surface Unit	
KW Elec. Water Heater	
KW Elec. Dryer/Receptacle	
KW Dishwasher	
HP Garbage Disposal	
KW Central A/C Unit	
HP/KW Space Heater/Air Handler	
KW Baseboard Heat	
HP Motors 1/4 HP	
KW Transformer/Generator	
AMP Service	<u>100A</u>
AMP Subpanels	
AMP Motor Control Center	
KW Elec. Sign/Outline Light	

Administrative Surcharge \$ _____
 Minimum Fee \$ _____
 State Permit Surcharge Fee \$ _____
 TOTAL FEE \$ _____



ELECTRICAL SUBCODE TECHNICAL SECTION CS665



A. IDENTIFICATION - APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTORS, NOTIFY THIS OFFICE. CALL UTILITY DIG NO: 1-800-272-1000.

Block _____

Work Site Location 270 Chestnut Street Lot _____ Qualification Code _____
Westville NJ 08093

Owner in Fee: Judith Vedutis (gary brown) e-mail _____

Tel. (856) 217-1166 e-mail _____

Address 270 Chestnut St. Westville zip code 08093

Contractor: Gibson Electrical & General Contractors, Inc. Tel. (856) 346-3388
 Address 1016 Jarvis Road e-mail _____

Contractor License No. 14718 Exp. Date 2012 2015

Home Improvement Contractor Registration No. or Exemption Reason (if applicable): 13VH02797800

Federal Emp. ID No. 20-4033847 FAX: (856) 346-3308

B. ELECTRICAL CHARACTERISTICS

Use Group Present _____ Proposed _____

[] Pole/Pad # _____ [] Temporary [] Other _____

Building Occupied as _____ Utility Co. _____

Est. Cost of Elec. Work \$ \$ 5,000.00

JOB SUMMARY (Office Use Only)

PLAN REVIEW

[] No Plans Required _____

[] Partial - Under slab Utilities Approved _____

Date: _____ Approved by: _____

[] Electric Plans Approved _____

Date: _____ Approved by: _____

Joint Plan Review Required: _____

[] Bldg. [] Plumb. [] Fire. [] Elev. _____

SUBCODE APPROVAL for PERMIT

Date: _____

Approved by: _____

SUBCODE APPROVAL for CERTIFICATE

[] CO [] CCO [] CA _____

Date: _____

Approved by: _____

INSPECTIONS

Type:	Failure	Dates (Month/Day)
Rough	_____	_____
Barrier-Free	_____	_____
Trench	_____	_____
Temp. Serv.	_____	_____
Constr. Serv.	_____	_____
TCO	_____	_____
Other	_____	_____
Service	_____	_____
Final	_____	_____
Barrier-Free	_____	_____
Temp. Cut-in-Card Date Issued	_____	_____
Final Cut-in-Card Date Issued	_____	_____
Annual Pool Inspection	_____	_____
Date of Grounding and Bonding Certification	_____	_____

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Date Received _____
 Control # _____
 Date Issued _____
 Permit # _____

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application and perform the work listed on this application.

Applicant sign/Contractor sign and seal here: _____

Print name here: _____

Licensed Elec. Contractor [] Certif'd Landscape Irrigation Contr [] Exempt Applicant

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK: Remove knob n tube in basement to 1st floor. New wire to fire over attic.

QTY.	SIZE	ITEMS	FEE (Office Use Only)
<u>3</u>		Lighting Fixtures	
<u>5</u>		Receptacles	
<u>2</u>		Switches	
		Detectors	
		Light Poles	
		Motors—Fract. HP	
		Emergency & Exit Lights	
		Communications Points	
		Alarm Devices/F.A.C. Panel	
<u>10</u>		TOTAL NUMBERS	\$ _____
		Pool Permit/with UW Lights	
		Storable Pool/Spa/Hot Tub	
		KW Elec. Range/Receptacle	
		KW Over/Surface Unit	
		KW Elec. Water Heater	
		KW Elec. Dryer/Receptacle	
		KW Dishwasher	
		HP Garbage Disposal	
		KW Central A/C Unit	
		HP/KW Space Heater/Air Handler	
		KW Baseboard Heat	
		HP Motors 1/4 HP	
		KW Transformer/Generator	
<u>1</u>	<u>100A</u>	AMP Service	
		AMP Subpanels	
		AMP Motor Control Center	
		KW Elec. Sign/Outline Light	

Administrative Surcharge \$ _____
 Minimum Fee \$ _____
 State Permit Surcharge Fee \$ _____
 TOTAL FEE \$ _____



Westville Borough - Joint Const.
 33 DELAWARE STREET
 WOODBURY, NJ 08096
 856 - 845-1300

Claim # 22157017

Permit Number: 20120095
 Update Number: 2
 Control Number: 3155
 Application Date: 12/28/2013
 Permit Date: 01/25/2013

CONSTRUCTION PERMIT UPDATE

IDENTIFICATION

OWNER/PROPERTY DETAILS

Block: 71	Lot: 11	Qualification Code:	
Work Site Location:	270 CHESTNUT STREET WESTVILLE		
Owner In Fee:	VEDUTIS, JUDY		
Address:	270 CHESTNUT ST WESTVILLE NJ 08093		
Telephone:	()-		
Use Group(s):	R-5		
Contractor:	KOJESKI CONSTRUCTION		
Address:	800 COOPER RD VOORHEES NJ -		
Telephone:	(856) - 424-6666		
Lic. No. / Bldrs. Reg. No.:			
Federal Emp. No.:	22-3352114		

is hereby granted permission to perform the following work :

- | | | |
|----------------------------------------------|------------------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> BUILDING | <input type="checkbox"/> PLUMBING | <input type="checkbox"/> DEMOLITION |
| <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> FIRE PROTECTION | <input type="checkbox"/> OTHER |
| <input type="checkbox"/> ELEVATOR DEVICES | <input type="checkbox"/> MECHANICAL | |
| <input type="checkbox"/> ASBESTOS ABATEMENT | <input type="checkbox"/> LEAD HAZARD ABATEMENT | |

(Subchapter 8 only)

DESCRIPTION OF WORK:

Install R-30 with vapor barrier in rafters & bays/
 R - 15 in exterior walls; Also R-30 in unheated area in front lip area; Raised ceiling in front section of house to 8 ft / modifying collar ties in the gable roof attic

ESTIMATED COST OF WORK:

Cost of Construction: 0.00
 Cost of Rehabilitation: 1,500.00
 Cost of Demolition: 0.00

Total Cost: \$1,500.00

NOTE: If construction does not commence within one (1) year of date of issuance, or if construction ceases for a period of six (6) months, this permit is void.

Robert Kunkle
 Robert Kunkle
 Construction Official
 Date: *1/25/13*

PAYMENTS	(Office Use Only)
Building	\$70.00
Electrical	
Plumbing	
Fire Protection	
Elevator Devices	
Mechanical	
VolFee (DCA)	
AltFee (DCA)	\$3.00
DCA Minimum	\$0.00
Other Fees	
CO Fee	
CCO Fee	
Minimum Fee	
Total	\$73.00
All Fees Waived:	No

Amount to be Paid: \$73.00
 Check Number: 4791
 Check amount: \$73.00

Collected by:
 Receipt No:
 Total Cash Amount:
 Total Check Amount: \$73.00
 Total CC Amount:
 Grand Total: \$73.00

Note:

A. IDENTIFICATION-APPLICANT: COMPLETE ALL APPLICABLE INFORMATION. WHEN CHANGING CONTRACTOR, NOTIFY THIS OFFICE.

Block: 71 Lot: 11 Qualification Code:

Work Site Location: 270 CHESTNUT STREET

Owner Details

Name: VEDUTIS, JUDY

Address: 270 CHESTNUT ST

WESTVILLE, NJ 08093

Telephone: ()

E-mail:

Contractor Details

Contractor: KOJESKI CONSTRUCTION

ATTN: CHARLES KOJESKI

Address: 800 COOPER RD

VOORHEES NJ -

Telephone: (856) 424-6666 Fax: (856) 424-6073

E-mail:

Federal Emp. No: 22-3352114

Lic No. or Bldrs Reg. No.: _____ Expiration Date: _____

Home Improvement Registration No. or Exemption Reason: _____

B. BUILDING CHARACTERISTICS

Use Group Present: R-5

Constr. Class Present:

Proposed:

Proposed:

No. of Stories

Height of Structure

Area - Largest Floor

New Bldg. Area/All Floors

Volume of New Structure

Total Land Area Disturbed

Est. Cost of Bldg. work:

1. New Building 0.00

2. Rehabilitation 1,500.00

3. Demolition 0.00

4. Total (1+2+3) \$1,500.00

JOB SUMMARY (Office Use Only)

PLAN REVIEW Date Initial

[] No Plans Required _____

[] All _____

[] Footing _____

[] Foundation _____

[] Frame _____

[] Other _____

Joint Plan Review Required:

[] Elec. [] Plumb. [] Fire [] Elev.

SUBCODE APPROVAL

[] CO [] CCO [] CA

Date: _____

Approved by: _____

INSPECTIONS

Type: _____ Dates(Month/Day)

Footing Failure Approval Initial

Footing Bonding _____

Foundation _____

Slab _____

Frame _____

Truss Sys./Bracing _____

Barrier-Free _____

Insulation _____

Finishes - Base Layer _____

Finishes - Final _____

Energy _____

Mechanical _____

TCO _____

Other _____

Final _____

Barrier-Free _____

C. CERTIFICATION IN LIEU OF OATH

I hereby certify that I am the (agent of) owner of record and am authorized to make this application.

Signature _____

D. TECHNICAL SITE DATA

DESCRIPTION OF WORK

Install R -30 with vapor barrier in rafters & bays/ R - 15 in exterior walls; Also R-30 in unheated area in front lip area; Raised ceiling in front section of house to 8 ft / modifying collar ties in the gable roof attic

TYPE OF WORK:

[] New Building

[] Addition

[] Rehabilitation

[] Roofing

[] Siding

[] Fence _____ Height (exceeds 6')

[] Pylon Sign _____ Sq. Ft.

[] Ground or Wall Sign _____ Sq. Ft.

[] Pool

[] Retaining Wall _____ 0.00 Sq. Ft.

[] Asbestos Abatement

[] Lead Haz. Abatement

[] Radon Remediation

[] Other 1:

[] Other 2:

[] Other 3:

[] Demolition

FEE (Office Use Only)

\$30.00

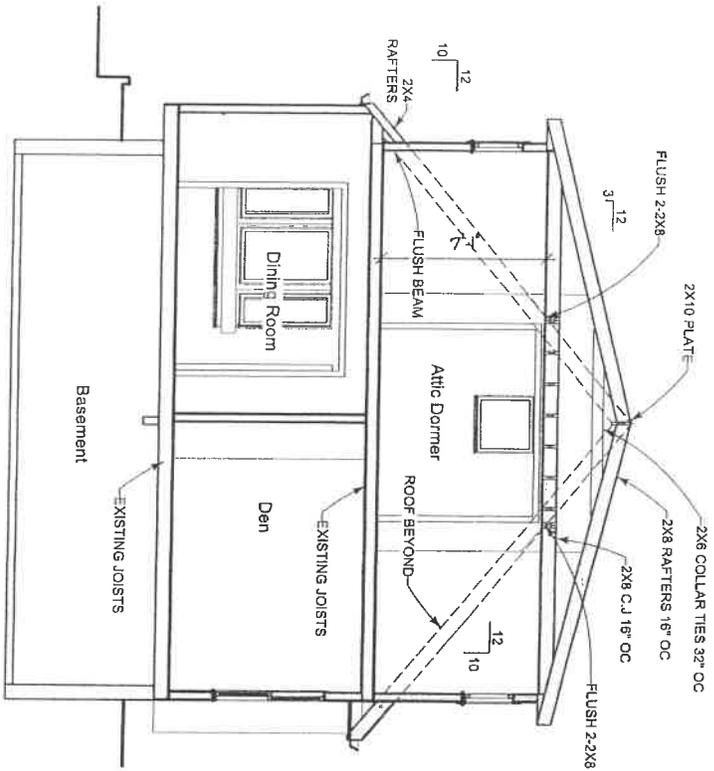
Administrative Surcharge

Minimum Fee \$70.00

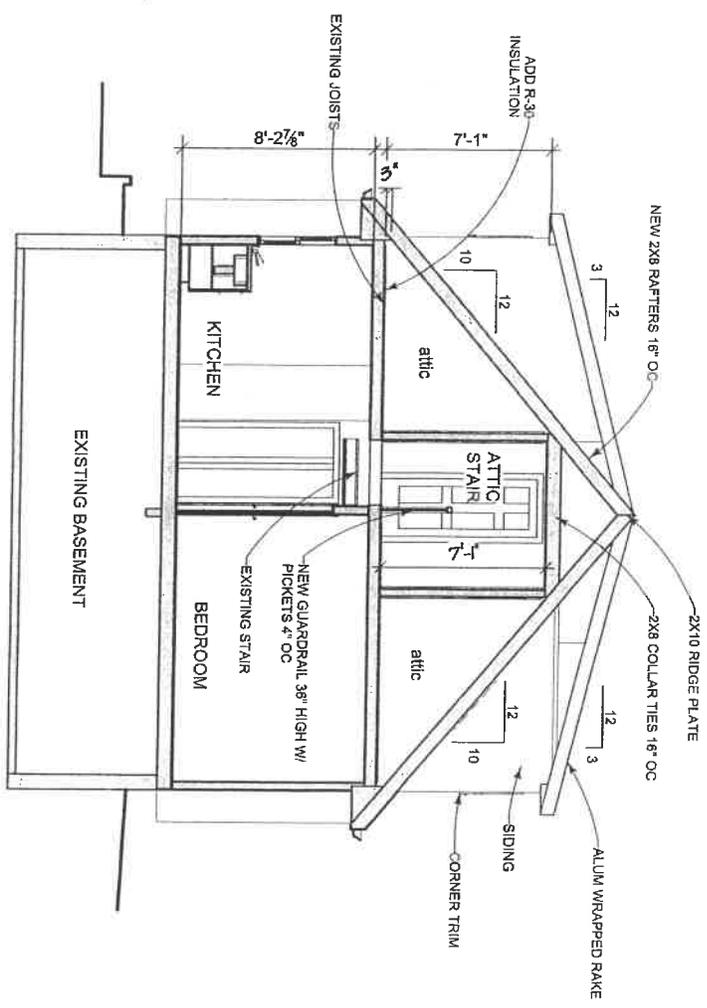
State Permit Surcharge Fee \$3.00

Total Fee \$73.00

EXHIBIT B



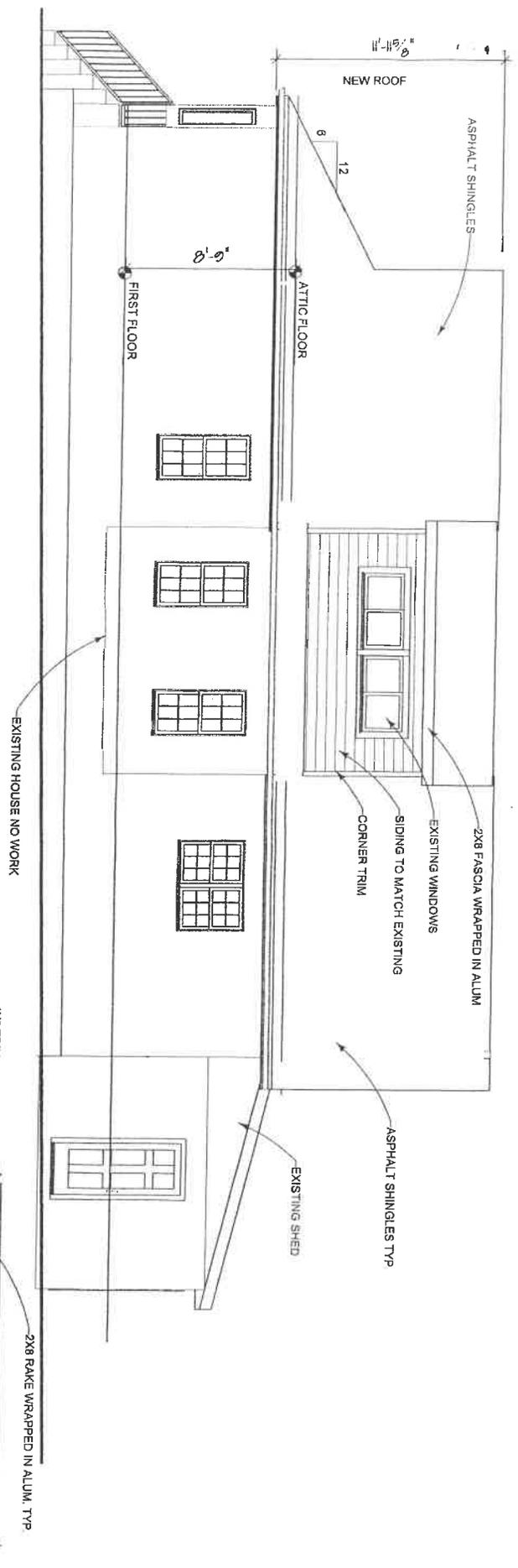
2 SECTION AT DORMER
Scale: 3/16" = 1'-0"



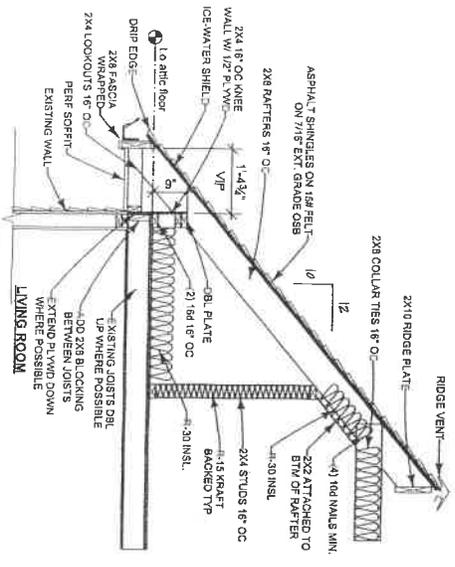
1 SECTION AT REAR OF HOUSE
Scale: 3/16" = 1'-0"

Drawn By DJB	Project Title VEDUTIS RESIDENCE 270 CHESTNUT ST. WESTVILLE, NJ 08093	David J. Bartel, RA ARCHITECT 732 Cottage Rd. Glenolde, PA 19038 215.833.4375 fax: 888.333.8944 dbartel@dbjbarchel.com
Sheet No. A-03	Sheet Title SECTIONS	Date 10/11/12
Scale 3/16" = 1'-0"	of 6	ARCHITECT PA - 04110000 M.F. 0116000 L.P. 0014400

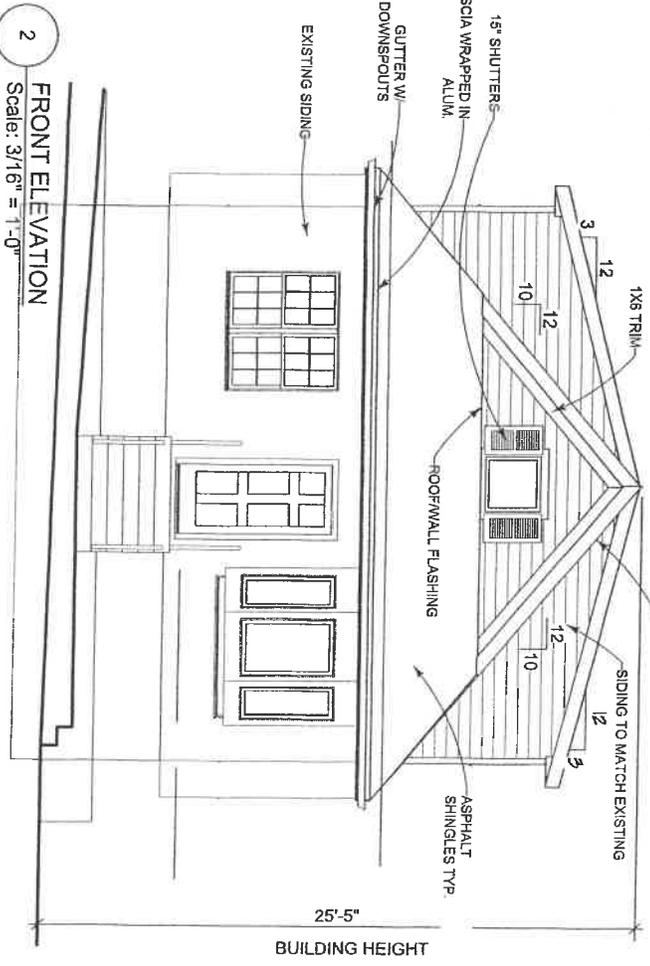
David J. Bartel



1 RIGHT SIDE ELEVATION
Scale: 3/16" = 1'-0"



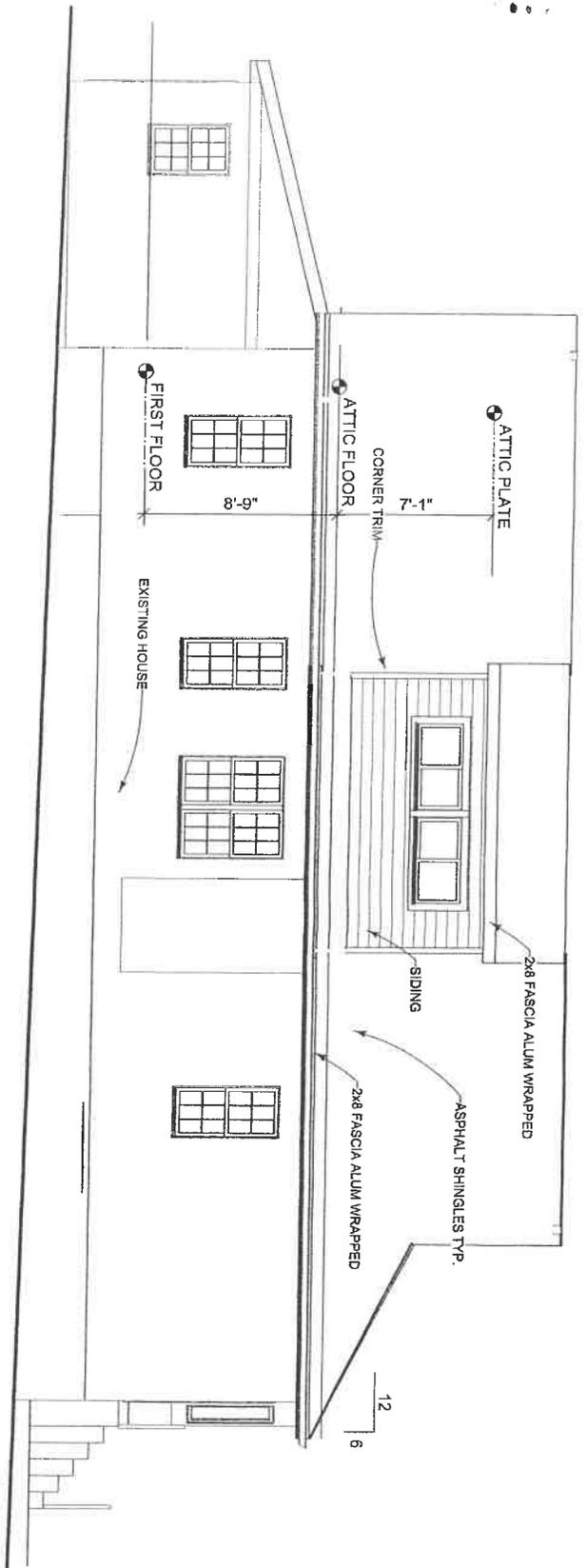
3 DETAIL AT ROOF
Scale: 3/8" = 1'-0"



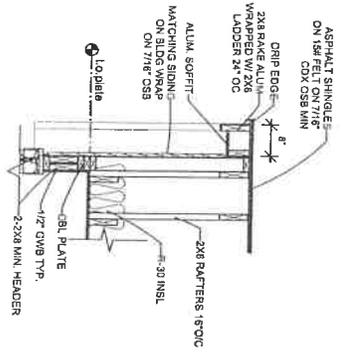
2 FRONT ELEVATION
Scale: 3/16" = 1'-0"

Scale 3/16" = 1'-0" A-04 6 of 6	Drawn By DJB	Project Title VEDUTIS RESIDENCE 270 CHESTNUT ST. WESTVILLE, NJ 08093 ELEVATIONS-1	David V. Banci, RA ARCHITECT 732 Cottage Rd. Glenolde, PA 19028 215.833.4375 fax: 888.335.8944 dbanci@architects.net www.dbarchitects.net
	Reviewed By DJB		
	Date 10/14/12		PA-RA011072X NJ-A110900 MD-0014403

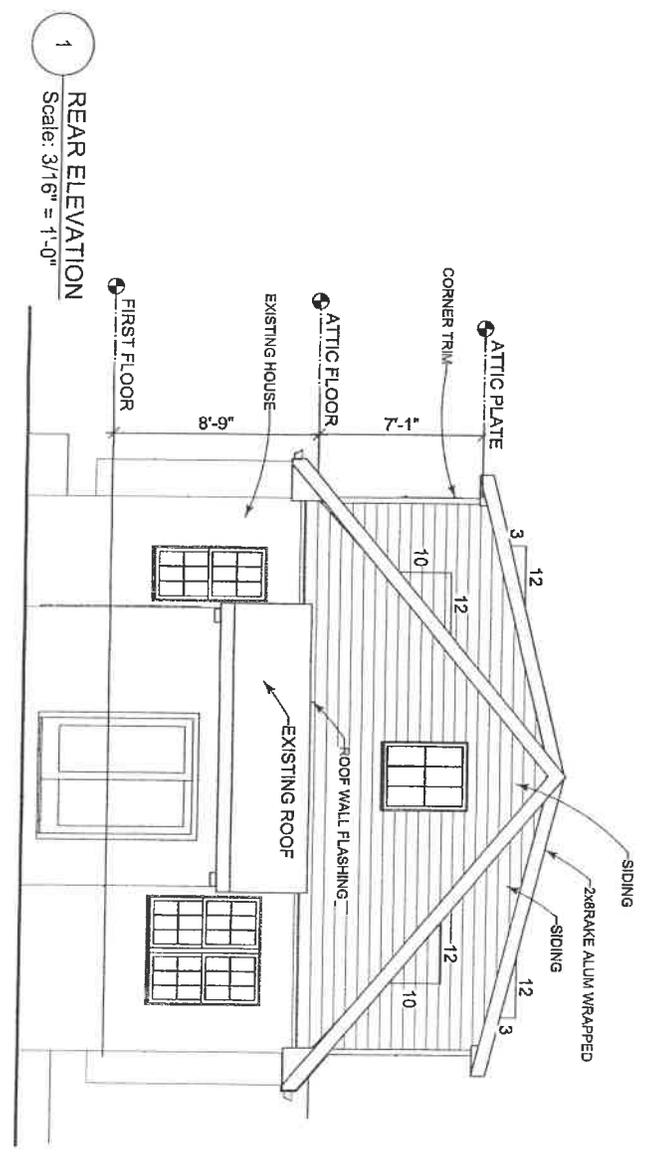
David V. Banci



2 LEFT ELEVATION
Scale: 3/16" = 1'-0"



3 DETAIL RAKE
Scale: 3/8" = 1'-0"



1 REAR ELEVATION
Scale: 3/16" = 1'-0"

A-05 of 5	Drawn By DJB	Project Title VEDUTIS RESIDENCE 270 CHESTNUT ST. WESTVILLE, NJ 08093 ELEVATIONS-2
	Reviewed By DJB	
Sheet No. 3/16" = 1'-0"	Date 10/14/12	Sheet Title

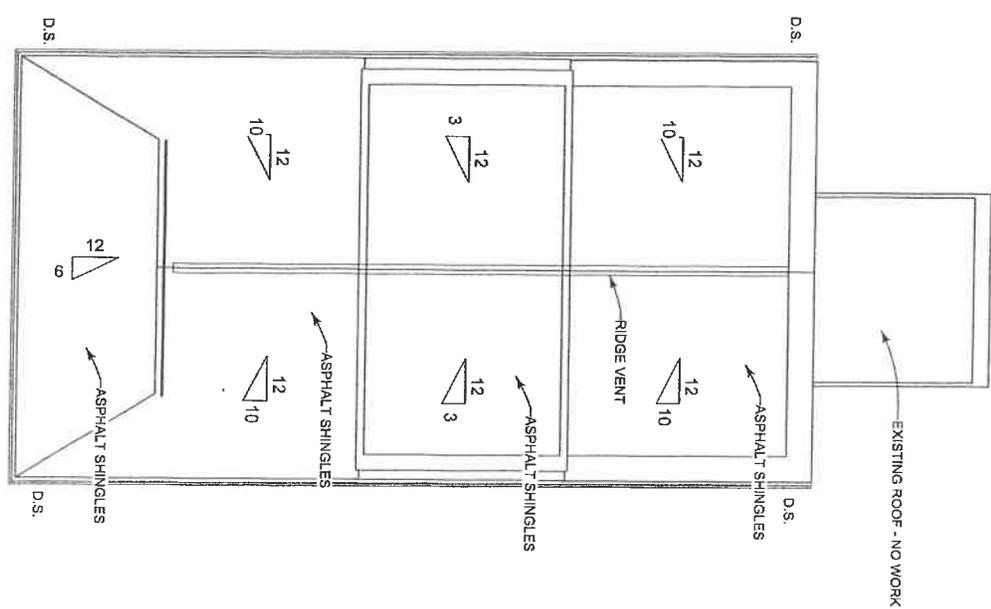
David V. Barici, RA
REGISTERED ARCHITECT
732 Cottage Rd.
Glenside, PA 19038
215.853.4375
Fax: 610.335.0643
@baricovarchitect.com

www.dvbaricovarchitect.com
PA-024150729 MI-0115066 MD-0614401

David Barici

1 ROOF PLAN
Scale: 1/8" = 1'-0"

ATTIC VENT:
AREA 875 SF.
VENT: 2.92 SF OR 420 S.I.
RIDGE VENT: 19 LINEAL FEET MAX.



Sheet No. A-06 of 6	Drawn By DJB	Project Title VEDUTIS RESIDENCE 270 CHESTNUT ST. WESTVILLE, NJ 08093
	Reviewed By DJB	Sheet Title ROOF PLAN
Date 4/17/14		David J. Barici, RA REGISTERED ARCHITECT 732 Cottage Rd. Glenside, PA 19038 215.633.4375 Fax 484.332.8941 dbarici@djbariciarchitect.com www.djbarici.com ARCHITECT

David Barici

EXHIBIT C



KOJESKI CONSTRUCTION

800 COOPER ROAD, VOORHEES, NJ 08043
(856) 424-6666 • FAX# (856) 424-6073

August 15, 2012

Judith Vedutis
270 Chestnut St.
Westville, N.J. 08093

Dear Ms. Vedutis,

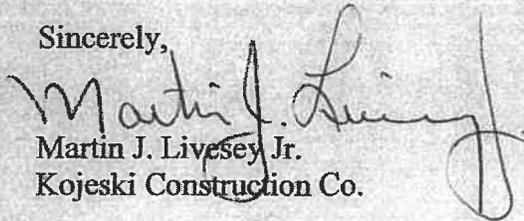
Enclosed please find our scope of repairs for the above-mentioned property. Our breakdown is as follows:

Demolition and Construction ----- \$35,643.31

Total-----\$35,643.31

If you have any questions regarding the above-mentioned estimate, please call me directly at 856-424-6666.

Sincerely,



Martin J. Livesey, Jr.
Kojeski Construction Co.



KOJESKI CONSTRUCTION

800 COOPER ROAD, VOORHEES, NJ 08043
(856) 424-6666 • FAX# (856) 424-6073

August 15, 2012

Judith Vedutis
270 Chestnut St.
Westville, N.J. 08093

Scope of Work

1. Remove existing roof structure including shingles, roof sheathing, and cedar underlay materials. Replace roof structure as described in homeowners supplied plans dated 7-16-2012 including 2"x 8" roof rafters @ 24" on center and ½" OSB roof sheathing. Replace all roof shingles on upper roof (does not include rear florida room) with 25 year GAF 3 tab roof shingles over 15 lb. felt paper. All necessary flashings. New Cobra Ridge Vent.
2. Install new paralam beam beneath both dormers.
3. Replace miscellaneous interior and exterior walls (bath / dormer) as needed.
4. Replace one 48"x 24" vinyl insulated window.
5. Replace block chimney and terra-cotta flu liner from 2nd floor deck through roof.
6. Insulate all 2nd floor exterior walls with R-13 batt insulation. Insulate new roof with R-21 batt insulation and proper vents.
7. Install new ½" drywall in entire 2nd floor and finish for paint.
8. Install new 3" molded baseboard throughout 2nd floor. Install new 2 ¼" colonial casings on interior doors. Windows will get sill and apron only.
9. Paint interior walls and ceiling with MAB latex flat wall and ceiling paint. Doors and trim in latex semi-gloss. Finished paint is quoted in Bone White throughout. Custom colors and finishes would be additional.
10. New carpet and padding throughout 2nd floor areas. Does not include stairway.
11. Remove and reset toilet and bathroom vanity. Replace tub walls. Replace bathroom vinyl floor and underlayment.
12. Replace exterior siding with mineral fiber siding to match existing 1st floor siding as close as possible.
13. Paint new 2nd floor siding to match existing as close as possible.
14. Replace vinyl soffits, aluminum wrapped fascia, aluminum gutters and downspouts.
15. Construction debris removal and disposal.

Kojeski Construction Co. Inc.

800 Cooper Road
Voorhees, N. J. 08043
856-424-6666 phone
856-424-6073 fax

Client: Judith Vedutis
Property: 270 Chestnut St.
Westville, NJ 08093

Home: (856) 742-0795

Operator Info:

Operator: BUD

Estimator: Bud Livesey

Type of Estimate:

Date Entered: 8/13/2012

Date Assigned:

Price List: NJCA7X_FEB12

Labor Efficiency: Restoration/Service/Remodel

Estimate: VEDUTIS

This estimate does not include architectural or local permit fees.

This estimate does not include rough or final electric or electric fixtures.

There is no 1st floor repairs included in this estimate.

Kojeski Construction Co. Inc.

800 Cooper Road
Voorhees, N. J. 08043
856-424-6666 phone
856-424-6073 fax

VEDUTIS**Roof**

DESCRIPTION	QNTY
Remove 3 tab - 25 yr. - (hvy.wt) comp. shingle rfg - incl. felt	16.00 SQ
Remove Sheathing - plywood - 1/2" CDX	1280.00 SF
Remove Wood shingles - taper sawn	12.80 SQ
Sheathing - waferboard - 1/2" - roof sheathing	1280.00 SF
3 tab - 25 yr. - (hvy.wt) comp. shingle rfg - incl. felt	16.00 SQ
R&R Ridge cap - composition shingles	60.00 LF
Continuous ridge vent - shingle-over style	40.00 LF
R&R Chimney flashing - small (24" x 24")	1.00 EA
R&R Flashing - pipe jack	1.00 EA
Step flashing	40.00 LF

NOTES:

Framing

DESCRIPTION	QNTY
Remove 2" x 6" lumber (1 BF per LF) - ridge board	40.00 LF
2" x 10" lumber (1.67 BF per LF) - new ridge board	46.00 LF
Remove Rafters - 2x4 - 24" OC (3-5/12 Gable, per SF of floor)	1280.00 SF
Rafters - 2x8 - 24" OC (3-5/12 Gable, per SF of floor)	1472.00 SF
Beam - engineered strand lumber - 3 1/2" x 11 7/8"	26.00 LF
R&R 2" x 8" lumber (1.33 BF per LF) - end dormer rafters	64.00 LF
Remove 1" x 8" lumber (.667 BF per LF) - rafter sill	80.00 LF
2" x 10" lumber (1.67 BF per LF) - rafter sill	184.00 LF
R&R Stud wall - 2" x 4" - 16" oc - dormers and bathroom	48.00 LF
R&R Sheathing - waferboard - 1/2" dormer wall sheathing	168.00 SF

Kojeski Construction Co. Inc.

800 Cooper Road
 Voorhees, N. J. 08043
 856-424-6666 phone
 856-424-6073 fax

CONTINUED - Framing

DESCRIPTION

QNTY

NOTES:

Attic

DESCRIPTION

QNTY

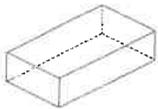
R&R Block chimney w/12" x 12" flue liner - per vertical LF

9.00 LF

NOTES:

Storage Area/Room

LxWxH 20' x 6' x 6'



135.00 SF Walls
 255.00 SF Walls & Ceiling
 13.33 SY Flooring
 120.00 SF Long Wall
 22.50 LF Ceil. Perimeter

120.00 SF Ceiling
 120.00 SF Floor
 22.50 LF Floor Perimeter
 36.00 SF Short Wall

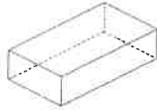
Missing Wall - Goes to Floor/Ceiling

8' 6" X 6'

Opens into Exterior

Kojeski Construction Co. Inc.

800 Cooper Road
 Voorhees, N. J. 08043
 856-424-6666 phone
 856-424-6073 fax



Subroom 1: Offset 1

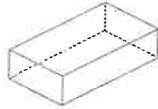
LxWxH 8' 6" x 6' x 6'

123.00 SF Walls	51.00 SF Ceiling
174.00 SF Walls & Ceiling	51.00 SF Floor
5.67 SY Flooring	20.50 LF Floor Perimeter
51.00 SF Long Wall	36.00 SF Short Wall
20.50 LF Ceil. Perimeter	

Missing Wall - Goes to Floor/Ceiling

8' 6" X 6'

Opens into Storage Area/Room



Subroom 2: Offset 2

LxWxH 12' 6" x 12' x 6'

219.00 SF Walls	150.00 SF Ceiling
369.00 SF Walls & Ceiling	150.00 SF Floor
16.67 SY Flooring	36.50 LF Floor Perimeter
75.00 SF Long Wall	72.00 SF Short Wall
36.50 LF Ceil. Perimeter	

Missing Wall - Goes to Floor/Ceiling

12' 6" X 6'

Opens into Storage Area/Room

DESCRIPTION

QNTY

Batt insulation - 4" - R13	500.00 SF
Batt insulation - 6" - R21	321.00 SF
R&R Polyethylene vapor barrier	321.00 SF
Remove 1/2" drywall - hung, taped, floated, ready for paint	399.00 SF
1/2" drywall - hung, taped, floated, ready for paint	798.00 SF
Seal/prime then paint walls and ceiling	798.00 SF
Baseboard - 3 1/4"	85.00 LF
Paint baseboard - two coats	85.00 LF
R&R Casing - 2 1/4"	31.00 LF
Paint casing - two coats	31.00 LF
R&R Window sill	12.00 LF
Seal & paint window sill	12.00 LF
R&R Vinyl window, horizontal sliding, 3-11 sf	1.00 EA
Carpet	369.15 SF
15 % waste added for Carpet.	
Carpet pad	321.00 SF

Kojeski Construction Co. Inc.

800 Cooper Road
 Voorhees, N. J. 08043
 856-424-6666 phone
 856-424-6073 fax

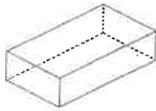
CONTINUED - Storage Area/Room

DESCRIPTION **QNTY**

NOTES:

Hallway

LxWxH 13' x 5' x 7'



252.00 SF Walls	65.00 SF Ceiling
317.00 SF Walls & Ceiling	65.00 SF Floor
7.22 SY Flooring	36.00 LF Floor Perimeter
91.00 SF Long Wall	35.00 SF Short Wall
36.00 LF Ceil. Perimeter	

DESCRIPTION **QNTY**

Batt insulation - 4" - R13	500.00 SF
Batt insulation - 6" - R21	65.00 SF
R&R Polyethylene vapor barrier	65.00 SF
Remove 1/2" drywall - hung, taped, floated, ready for paint	158.50 SF
1/2" drywall - hung, taped, floated, ready for paint	317.00 SF
Seal/prime then paint walls and ceiling	317.00 SF
Baseboard - 3 1/4"	29.00 LF
Paint baseboard - two coats	29.00 LF
R&R Casing - 2 1/4"	36.00 LF
Paint casing - two coats	36.00 LF
R&R Window sill	2.00 LF
Seal & paint window sill	2.00 LF
Carpet	74.75 SF
15 % waste added for Carpet.	
Carpet pad	65.00 SF

Kojeski Construction Co. Inc.

800 Cooper Road
Voorhees, N. J. 08043
856-424-6666 phone
856-424-6073 fax

CONTINUED - Hallway

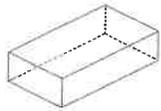
DESCRIPTION

QNTY

NOTES:

Bathroom

LxWxH 10' 6" x 6' x 6'



198.00 SF Walls
261.00 SF Walls & Ceiling
7.00 SY Flooring
63.00 SF Long Wall
33.00 LF Ceil. Perimeter

63.00 SF Ceiling
63.00 SF Floor
33.00 LF Floor Perimeter
36.00 SF Short Wall

DESCRIPTION

QNTY

R&R Batt insulation - 4" - R13	36.00 SF
R&R Batt insulation - 6" - R21	63.00 SF
R&R Polyethylene vapor barrier	63.00 SF
R&R 1/2" drywall - hung, taped, floated, ready for paint	261.00 SF
Seal/prime then paint walls and ceiling	261.00 SF
Interior door - Detach & reset	1.00 EA
Paint door slab only - 1 coat (per side)	2.00 EA
Paint door trim & jamb - 1 coat (per side)	2.00 EA
R&R Window sill	4.00 LF
Seal & paint window sill	4.00 LF
R&R Casing - 2 1/4"	4.00 LF
Paint casing - two coats	4.00 LF
Baseboard - 3 1/4"	33.00 LF
Paint baseboard - two coats	33.00 LF
Base shoe	33.00 LF
Seal & paint base shoe or quarter round	33.00 LF
Remove Vinyl floor covering (sheet goods)	63.00 SF

VEDUTIS

8/15/2012

Page: 6

Kojeski Construction Co. Inc.

800 Cooper Road
Voorhees, N. J. 08043
856-424-6666 phone
856-424-6073 fax

CONTINUED - Bathroom

DESCRIPTION	QNTY
Vinyl floor covering (sheet goods)	72.45 SF
15 % waste added for Vinyl floor covering (sheet goods).	
R&R Underlayment - 1/4" lauan/mahogany plywood	63.00 SF
Toilet - Detach & reset	1.00 EA
Vanity - Detach & reset	2.00 LF
R&R Fiberglass tub surround only	1.00 EA
Tub/shower faucet - Detach & reset	1.00 EA

NOTES:

Exterior/General

DESCRIPTION	QNTY
R&R Mineral fiber siding	168.00 SF
Seal & paint wood siding	168.00 SF
R&R Soffit - vinyl	376.00 SF
R&R Fascia - metal - 8"	248.00 LF
R&R Gutter / downspout - aluminum - up to 5"	212.00 LF
Dumpster load - Approx. 30 yards, 5-7 tons of debris	2.00 EA
Temporary toilet (per month)	2.00 MO

NOTES:

Kojeski Construction Co. Inc.

800 Cooper Road
Voorhees, N. J. 08043
856-424-6666 phone
856-424-6073 fax

Grand Total Areas:

927.00 SF Walls	449.00 SF Ceiling	1,376.00 SF Walls and Ceiling
449.00 SF Floor	49.89 SY Flooring	148.50 LF Floor Perimeter
400.00 SF Long Wall	215.00 SF Short Wall	148.50 LF Ceil. Perimeter
0.00 Floor Area	0.00 Total Area	0.00 Interior Wall Area
0.00 Exterior Wall Area	0.00 Exterior Perimeter of Walls	
0.00 Surface Area	0.00 Number of Squares	0.00 Total Perimeter Length
0.00 Total Ridge Length	0.00 Total Hip Length	

KOJESKI CONSTRUCTION REFERENCES

FIRE

**Kenneth & Gloria Still
124 So. Warwick Road
Lawnside, NJ 08045
856-323-8267
\$200,000.00**

**Jeffrey Grillo
22 Candlewyck Way
Cherry Hill, NJ
856-424-1436
334,500.00**

**Bhupendra Patel
1533 Rt. 38
Lumberton, NJ
215-740-0867
Fire- \$75,000.00**

**Robert Sax
305 Old Orchard Road
Cherry Hill, NJ
856-424-5163
Fire – \$145,000.00**

**Morris and Alice Smith
307 Tillman Ave
Lawnside, NJ
609-314-8903
Fire - \$135,000.00**

**Ameer & Lorna Abdalazez
439 Hulme St.
Burlington, N.J. 08016
609-209-8594
\$180,000.00**

**Juanita Nash
35 Parkside Circle
Willingboro, NJ
609-880-9369
225,000.00**

**Ron and Maryanne Elwell
2642 Dutch Mill Rd.
Franklinville, N.J.
856-697-3073
Fire - \$190,000.00**

**Jennifer Reisenwitz
620 Stratford Ave.
Runnemede, N.J.
Fire – 856-325-8431
\$120,000.00**

**Surendra Shah
148 A & B Willow Turn
Mount Laurel, N.J.
856-778-1234
\$200,000.00**

KOJESKI CONSTRUCTION REFERENCES

FIRE

**Robert Wolfe
1813 Lark Lane
Cherry Hill, NJ
663-1616
Fire
\$135,000.00**

**James and Amy Gannon
172 Indiana Ave.
Blackwood, N.J.
856-522-3235
Fire
\$40,000.00**

**Lou & Janet Rossini
307 Midway
Riverton, N.J.
215-888-9154
Fire
\$40,000.00**

**Stephen Ferri
17 Faybrook
Marlton, New Jersey
596-8159
Fire
\$150,000.00**

**Elizabeth Bulger
539 Church Road
Sicklerville, New Jersey
Fire
561-6291
\$53,350.00**

**Roy Greenblatt
58 Hawk Road
Marlton, New Jersey
Fire
223-9889
\$50,800.00**

**Al Stewart
1602 Ravenswood
Cherry Hill, New Jersey
Fire
751-8078
\$192,108.13**

**William Pratt
10 Georgia Trail
Medford, New Jersey
Fire
654-8765
\$160,000.00**

**Rene Albright
1712 Forest Drive
Williamstown, New Jersey
Fire
728-8378
\$2,300.00**

**Steve Friedman
1620 Crown Point Drive
Cherry Hill, New Jersey
Fire
795-5957
\$306,359.00**

KOJESKI CONSTRUCTION REFERENCES
FIRE

Dan Kilcoyne
120 Roberts Place
Mt. Laurel, New Jersey
Fire
778-1630
\$184,833.26

Ernie MacNeill
106 Chestnut Avenue
Woodlyn, New Jersey
Fire
309-1570
\$53,000.00

Mr. Palmer
53 Pershing lane
Sicklerville, New Jersey
Fire
875-0845
\$32,000.00

Pat Shelly
1404 Princess Avenue
Cherry Hill, New Jersey
Fire
429-0984
\$32,725.00

Joseph D'Amico
103 Longwood Drive
Atco, New Jersey
Fire
767-4142
\$127,722.00

Carol DiSilvestro
1204 Weber Drive
Pine Hill, New Jersey
Fire
768-0709
\$29,454.00

KOJESKI CONSTRUCTION CO., INC. REFERENCES
REMODELING JOBS

Joseph and Christine Volpe
Hampshire Drive
Medford, NJ
Laundry room renovation
Fireplace installation

Bill and Maryanne Degman
Hampshire Drive
Medford, NJ
New full bathroom in basement

Bob and Tina Brandt
Gristmill Court
Medford, NJ
New kitchen
Laundry room renovation

Ken and Michelle Motylinski
59 Meadowview Court
Shamong, NJ
New Kitchen
New first floor bathroom

Andy and Gina Sangataldo
Sherwood Drive
Medford, NJ
Construct front covered porch
and handicap ramp

Bill & Laurie Wilke
360 Pine Tavern Rd
Monroeville, N.J. 08343
856-358-9072
\$183,600.00

William Lansberg
1028 Bob White Drive
Cherry Hill, New Jersey
795-5684
\$116,500.00

Mason Pope
65 Brandywine Court
Voorhees, New Jersey
784-2327
\$45,000.00

Allan Drucker
8 Shari Court.
Marlton, New Jersey
985-0627
\$33,000.00

KOJESKI CONSTRUCTION CO. INC.
COMMERCIAL BUILDINGS

Democratic Club
131 Coles Road
Gloucester Twp.
Blackwood, New Jersey
Fire – Banquet Hall & Bar
Ray Carr – 227-8666
\$290,000.00

Middle Atlantic Warehouse
1501 Glen Avenue
Moorestown, New Jersey
Fire
722-7500
\$25,000.00

Robert Ferrell
511 Warwick Road
Somerdale, New Jersey
Fire
428-7444
\$57,000.00

John Wade – Attorney At Law
1250 Chews Landing Road
Laurel Springs, New Jersey
Commercial – New Construction
346-2800
\$350,000.00

The Learning Experience
606 Little Gloucester Rd.
Blackwood, N.J.
10,000 s.f. Commercial Bldg.
\$2,700,000.00

Office Building
602 Little Gloucester Rd.
Blackwood, N.J.
4,000 s.f. Commercial Bldg.
\$400,000.00

Currently In Progress:
Society of St. Vincent DePaul
1 Jones Rd.
Medford, N.J.
4,000 s.f. remodel/addition
\$1,000,000.00

KOJESKI CONSTRUCTION CO., INC.
APARTMENT BUILDINGS AND CONDOMINIUMS

Finistere Apartments
8 Units
Lindenwold, New Jersey
\$200,000.00

Village Apartments
6 Units
Voorhees, New Jersey
\$50,000.00

Colony Apartments
13 Units
Towson, Maryland
\$360,000.00

LaBonne Vie Apartments
8 Units
Gloucester Township, New Jersey
\$300,000.00

Woods Condominium
4 Units
Cherry Hill, New Jersey
\$65,000.00

Woods Condominium
2 Units
Cherry Hill, New Jersey
\$8,000.00

Woods Condominium
16 Units
Cherry Hill, NJ
\$1,250,000

Jamestown Apartments
10 Units
Toms River, New Jersey
\$130,000.00

Sandy Ridge Apartments
12 Units
Carney's Point, New Jersey
\$380,000.00

Penn Village Apartments
1 Unit
Pennsgrove, New Jersey
\$35,000.00

Chalet Apartments
320 Brance Avenue
Pine Hill, New Jersey
\$235,000.00

Pennant Club Apartments
8 Units
Jackson, New Jersey
\$120,000.00

Avalon Chase Apartments
8 Units
Marlton, New Jersey
\$300,000.00

KOJESKI CONSTRUCTION CO., INC.
HANDICAP REFERENCES

Edward Scala
State of New Jersey Department
Of Insurance
20 W. State Street
(609) 292-2903

Geraldine Leader
Handicap – Addition
7426 Wyndom Road
Pennsauken, New Jersey
662-4881

Thomas Hyland
Bi-Level Handicap Addition
W/Lift and Bathroom
215 Tennessee Trail
Browns Mills, New Jersey
(609)893-8914

Oscar Small
Ramping and Concrete Walkways
1134 Monroe Avenue
Atlantic City, New Jersey
(609)345-7127

Mary Meakins
Handicap – Addition
Ramps – Walkways
Haddon Heights, N.J.
(609) 547-1282

Chris Engle
Handicap – Addition
Ramp
Cape Lane – Box 3
New Lisbon, New Jersey
(609) 894-8006

Charlene Blakley
Handicap Bathroom Door
Widen Concrete Walkways
61 Peacock Lane
Willingboro, New Jersey
(609) 871-8592

KOJESKI CONSTRUCTION CO., INC.
MEMBERSHIPS

Builders League of South Jersey
114 Haddontown Court
Cherry Hill, New Jersey 08034
(609) 61-8460

National Association of Home Builders
1201 15th Street, NW
Washington, D.C. 20005

ACC# 240247547



KOJESKI CONSTRUCTION

800 COOPER ROAD, VOORHEES, NJ 08043
(856) 424-6666 • FAX# (856) 424-6073

September 17, 2012

Judith Vedutis
270 Chestnut St.
Westville, N.J. 08093

Re: BL-858

Dear Ms. Vedutis,

Enclosed please find our *2nd revision* scope of repairs for the above-mentioned property. Our breakdown is as follows:

Demolition and Construction ----- \$26,900.00

Total-----\$26,900.00

If you have any questions regarding the above-mentioned estimate, please call me directly at 856-424-6666.

Sincerely,

Martin J. Livesey Jr.
Kojeski Construction Co.

Kojeski Construction Co. Inc.

800 Cooper Road
Voorhees, N. J. 08043
856-424-6666 phone
856-424-6073 fax

Client: Judith Vedutis
Property: 270 Chestnut St.
Westville, NJ 08093

Home: (856) 742-0795

Operator Info:
Operator: BUD

Estimator: Bud Livesey

Type of Estimate:
Date Entered: 8/13/2012 Date Assigned:

Price List: NJCA7X_FEB12
Labor Efficiency: Restoration/Service/Remodel
Estimate: VEDUTIS-REVISED-2

This estimate does not include architectural or local permit fees.

This estimate does not include siding, fascia, soffit, gutters, electric, electric fixtures, plumbing, plumbing fixtures, drywall, insulation, trim, painting or finished flooring.

Kojeski Construction Co. Inc.

800 Cooper Road
Voorhees, N. J. 08043
856-424-6666 phone
856-424-6073 fax

VEDUTIS-REVISED-2**Roof**

DESCRIPTION	QNTY
Remove 3 tab - 25 yr. - (hvy.wt) comp. shingle rfg - incl. felt	16.00 SQ
Remove Sheathing - plywood - 1/2" CDX	1680.00 SF
Remove Wood shingles - taper sawn	16.80 SQ
Sheathing - waferboard - 1/2" - roof sheathing	1472.00 SF
Laminated - comp. shingle rfg. - w/ felt	16.00 SQ
R&R Ridge cap - composition shingles	60.00 LF
Continuous ridge vent - shingle-over style	46.00 LF
R&R Flashing - pipe jack	1.00 EA
R&R Chimney flashing - small (24" x 24")	1.00 EA
Step flashing	40.00 LF
Drip edge	241.00 LF

NOTES:

Framing

DESCRIPTION	QNTY
Remove 2" x 6" lumber (1 BF per LF) - ridge board	40.00 LF
2" x 10" lumber (1.67 BF per LF) - new ridge board	46.00 LF
Remove Rafters - 2x4 - 24" OC (3-5/12 Gable, per SF of floor)	1680.00 SF
Rafters - 2x8 - 16" OC (3-5/12 Gable, per SF of floor)	1416.00 SF
R&R Rafters - 2x6 - 16" OC (3-5/12 Gable, per SF of floor) - porch	220.00 SF
Carpenter - General Framer - per hour - cosmetically repair porch roof sag from top plate up	4.00 HR
Beam - engineered strand lumber - 3 1/2" x 11 7/8"	13.00 LF
R&R 2" x 8" lumber (1.33 BF per LF) - end dormer rafters	64.00 LF
Remove 1" x 8" lumber (.667 BF per LF) - rafter sill	80.00 LF

Kojeski Construction Co. Inc.

800 Cooper Road
 Voorhees, N. J. 08043
 856-424-6666 phone
 856-424-6073 fax

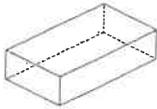
CONTINUED - Framing

DESCRIPTION	QNTY
2" x 10" lumber (1.67 BF per LF) - rafter sill	208.00 LF
R&R Stud wall - 2" x 4" - 16" oc - dormers and rear gable	68.00 LF
R&R Sheathing - waferboard - 1/2" dormer wall sheathing	168.00 SF

NOTES:

Storage Area/Room

LxWxH 20' x 6' x 6'



135.00 SF Walls	120.00 SF Ceiling
255.00 SF Walls & Ceiling	120.00 SF Floor
13.33 SY Flooring	22.50 LF Floor Perimeter
120.00 SF Long Wall	36.00 SF Short Wall
22.50 LF Ceil. Perimeter	

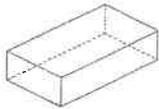
Missing Wall - Goes to Floor/Ceiling

8' 6" X 6'

Opens into Exterior

Subroom 1: Offset 1

LxWxH 8' 6" x 6' x 6'



123.00 SF Walls	51.00 SF Ceiling
174.00 SF Walls & Ceiling	51.00 SF Floor
5.67 SY Flooring	20.50 LF Floor Perimeter
51.00 SF Long Wall	36.00 SF Short Wall
20.50 LF Ceil. Perimeter	

Missing Wall - Goes to Floor/Ceiling

8' 6" X 6'

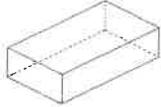
Opens into Storage Area/Room

Kojeski Construction Co. Inc.

800 Cooper Road
 Voorhees, N. J. 08043
 856-424-6666 phone
 856-424-6073 fax

Subroom 2: Offset 2

LxWxH 12' 6" x 12' x 6'



219.00 SF Walls	150.00 SF Ceiling
369.00 SF Walls & Ceiling	150.00 SF Floor
16.67 SY Flooring	36.50 LF Floor Perimeter
75.00 SF Long Wall	72.00 SF Short Wall
36.50 LF Ceil. Perimeter	

Missing Wall - Goes to Floor/Ceiling

12' 6" X 6'

Opens into Storage Area/Room

DESCRIPTION

QNTY

R&R Vinyl window - casement, 6-8 sf	1.00 EA
R&R Vinyl window - casement, 3-5 sf	1.00 EA
Replacement or retrofit window, 3-11 sf	2.00 EA
Vinyl window - Detach & reset - dormer windows	4.00 EA
R&R Block chimney w/12" x 12" flue liner - per vertical LF - remove to 2nd floor level only	9.00 LF
Dumpster load - Approx. 30 yards, 5-7 tons of debris	2.00 EA

NOTES:

Grand Total Areas:

477.00 SF Walls	321.00 SF Ceiling	798.00 SF Walls and Ceiling
321.00 SF Floor	35.67 SY Flooring	79.50 LF Floor Perimeter
246.00 SF Long Wall	144.00 SF Short Wall	79.50 LF Ceil. Perimeter
0.00 Floor Area	0.00 Total Area	0.00 Interior Wall Area
0.00 Exterior Wall Area	0.00 Exterior Perimeter of Walls	
0.00 Surface Area	0.00 Number of Squares	0.00 Total Perimeter Length
0.00 Total Ridge Length	0.00 Total Hip Length	

1
2
3
4 **BUILDING REPAIR AGREEMENT**

5 THIS BUILDING REPAIR CONTRACT has been prepared on the 17th day of September, 2012,
6 BETWEEN KOJESKI CONSTRUCTION COMPANY, INC., CONTRACTOR REGISTRATION #
7 13VH03155100, (hereinafter "Contractor") whose address is 800 Cooper Road, Voorhees, New Jersey, 08043; telephone
8 number (856) 424-6666 AND , JUDITH VEDUTIS (hereinafter "Owner/Agent")
9 whose address is 270 Chestnut St. Westville, N.J. 08093

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- 12 2. Commencement and Completion of Work
- 13 3. Price/Manner of Payment
- 14 4. Authority to Contract/Sufficient Assets
- 15 5. Changes in Construction
- 16 6. Permits and Approvals
- 17 7. Workman's Compensation and Liability Insurance
- 18 8. Clean-Up of Premises
- 19 9. Utilities
- 20 10. Concealed Conditions/Emergencies/Hidden or other Damages
- 21 11. Warranties
- 22 12. Owner's Responsibilities
- 23 13. Ownership of Materials/Access to Work
- 24 14. Arbitration of Disputes
- 25 15. Assignment and Delegation
- 26 16. Severability
- 27 17. Governing Law/Entire Agreement
- 28 18. Notices
- 29 19. Additional Provisions
- 30 20. Notice to Owner/Notice of Cancellation

31 **1. SCOPE OF WORK**

32 Contractor agrees to perform repairs as set forth in the Description BL-858; Dated September 17, 2012. It is
33 understood that all dimensions and features shown on all renderings, brochures, architectural elevations, architectural floor
34 plans and/or all other sales materials that are available for review and/or made part of this Agreement are approximate and
35 subject to field variations. Kojeski Construction specification list shall supersede architectural plans, if any, submitted by
36 Buyer. If there are conflicts between any such plans and Kojeski specifications, Kojeski specifications shall control.

37
38 **2. COMMENCEMENT AND COMPLETION OF WORK**

39 The project will commence with Contractor applying for building permits, to be submitted on or about two weeks
40 from the date of receiving approved architectural drawings. Construction work will commence on or about two weeks
41 from receipt of the permits. Intended completion date will be *two weeks* from the construction start date. Any unforeseen
42 delay, for whatever reason, including but not limited to any lengthy permit purchases, availability of all supplies,
43 including any special order items that cannot be received and installed by completion date, change orders and extras,
44 work done by the owner, inclement weather, fire, storm or other casualty, strikes, lockouts or other labor disputes
45 affecting either Contractor or Contractor's suppliers of material or labor, acts of war, emergency proclamation, and/or
46 government regulations, will automatically extend the completion date.

47
48 **3. PRICE/MANNER OF PAYMENT**

- 49 (a) Cost:
- 50 1. Base Price.....\$26,900.00
 - 51 2. Cost of Options (from Exhibit _____).....N/A
 - 52 TOTAL CONTRACT PRICE.....\$26,900.00
- 53 (b) Disbursed as follows:
- 54 1. Deposit due upon signing of Contract.....\$2,900.00
 - 55 2. First draw to be paid at commencement of construction.....\$10,000.00
 - 56 3. Second Draw to be paid after roof shingles.....\$10,000.00
 - 57 4. Final draw to be paid upon completion.....\$4,000.00

58
59 The project will be deemed complete when a roof framing inspection or approval (temporary or permanent) is issued by
60 the municipality. However, if the approval cannot be issued due to violations that are not of the Contractor's
61 responsibilities, final payment will be due and payable upon substantial completion of the work. If there should remain
62 minor items to be completed, the Contractor and the owner shall list such items in a "punch list" and the Contractor shall
63 complete said items within a reasonable amount of time or thereafter. The existence of such punch list items will not
64 entitle owner to cancel this Agreement or withhold payment pending completion of the punch list items. The making of
65 final payment shall constitute a waiver of all claims by the owner except those arising from unsettled liens, or improper
66 workmanship or defective materials appearing within one year after the date of installation/application.

67 Owner will make prompt payment of all installments on account of the agreement price. If owner fails to pay
68 Contractor any installment payment due within ten days of the due date, the Contractor may, at any time thereafter, upon
69 serving written notice that he will stop work within seven days after receipt of the notice by the owner, and after such
70 seven day period, stop the project until payment of the amount owing has been received. Written notice shall be deemed
71 to have been duly served by certified mail to the owner's home address. Contractor may then recover from owner
72 payment for all work completed, together with Contractor's loss of profits and attorney fees. The Contractor is not
73 responsible for any damages that may occur during the time the job is stopped for non-payment.

74 Payments due but unpaid shall bear interest at the rate of 2 percentage points above the prime interest rate prevailing

76

77

4. AUTHORITY TO CONTRACT/SUFFICIENT ASSETS

78

Owner represents that owner has legal and insured title to the premises and has authority to enter into this Agreement. Performance of owner's obligations are not dependent on approval of work by any bank, mortgage company or any other lender; nor by any insurance company. Owner shall remain responsible for all payments upon Contractor's performance, irrespective of whether owner is to be reimbursed by any insurance company or other entity. Payment shall not be conditioned upon approval by any third party.

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5. CHANGES IN CONSTRUCTION

85

Contractor may, in its sole discretion, substitute material of equal quality to that referred to in the Description, Agreed Upon Options, architectural or any other drawings, plans and/or specifications.

86

87

Any extras or changes in this Agreement must be approved by Contractor and set forth in a written change order agreement, which will become a part of this Agreement. Any such extras or changes which would result in a cost change must be payable in advance, and will automatically extend the completion date of this project.

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6. PERMITS AND APPROVALS

92

Any variances or zoning changes required in connection with this Agreement shall have been secured and paid for by owner prior to owner's entering into this Agreement. Filing fees are *not included* in the cost of this project.

93

94

95

7. WORKMAN'S COMPENSATION AND LIABILITY INSURANCE

96

Contractor carries workman's compensation and public liability insurance, which coverages are applicable to the work to be performed under this Agreement. A copy of the contractor's certificate of commercial general liability insurance is attached to this Agreement.

97

98

99

100

8. CLEAN-UP OF PREMISES

101

Contractor shall keep the premises free from accumulation of waste material and rubbish and at the completion of work shall remove all rubbish, implements, surplus material and surplus equipment brought onto the site by its employees, suppliers, sub-contractors and agents. Contractor shall leave the building premises in broom-clean condition.

102

103

104

Contractor shall not be responsible for clean up or disposal of any hazardous waste materials or storage facility.

105

106

9. UTILITIES

107

Contractor is not responsible for any payment of utilities during the repair process, such as water, electric, gas, oil, etc.

108

109

10. CONCEALED CONDITIONS/EMERGENCIES/HIDDEN OR OTHER DAMAGES

110

Should conditions be encountered in the performance of the Agreement, either below the surface of the ground or in an existing structure which are at variance with the conditions indicated by the drawings, specifications or owner-furnished information or should concealed or unknown conditions, or should unknown physical conditions differing from those ordinarily encountered and generally recognized as inherent in the Agreement, be encountered, the contract price and time schedule shall be equitably adjusted by change order. Any such condition discovered by either party must be disclosed to the other party within a reasonable time after the first observance of the condition.

111

112

113

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115

In an emergency affecting the safety of persons or property, the contractor shall act, in his discretion, to prevent threatened damage, injury or loss. Any such emergency may result in an increase of the contract price and/or extension of time for completion of the work.

116

117

118

Contractor is not responsible for hidden damages such as, but not limited to, termite damage, dry-rot damage or rodent damage such as squirrels, rats, mice, raccoons, etc. Neither is contractor responsible for damages caused by the owner, owner's separately retained contractors, and/or owners other employees, agents, family, invitees or other persons.

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123

11. WARRANTIES

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Contractor warrants that all materials and equipment furnished by contractor will be of standard quality and free from defects, and will be installed or applied in a good workmanlike manner. Workmanship and material will be warranted against defects for a one year period after the date of installation, when subject to normal use and care, provided owner has complied in full with terms and payments and other conditions of this Agreement. The liability of the Contractor for defective materials or installation/application thereof under this warranty is hereby limited to the replacement or correction of said defective material and/or installation/application under normal use and no other claims or demands whatsoever shall be made upon or required to be allowed by the Contractor. Assemblies or units purchased by Contractor for use pursuant to this Agreement are sold and installed subject to the manufacturer's or processor's and not the Contractor's guarantees or warranties. Manufacturer's guarantees or warranties shall be furnished to owner at the time products are installed/applied.

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12. OWNER'S RESPONSIBILITIES

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Owner shall furnish all necessary surveys describing the physical characteristics, soils reports and subsurface investigations, legal limitations utility locations and a legal description, with reasonable promptness.

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If Owner becomes aware of any fault or defect in the project or non-conformance with the drawings or specifications, Owner shall give prompt written notice to the Contractor.

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If required, the Owner shall furnish reasonable evidence satisfactory to the Contractor, prior to commencing work and at such future times as may be required, that sufficient funds are available and committed for the entire cost of the project. Unless such reasonable evidence is furnished, the Contractor is not required to commence or continue any work, or may, if such evidence is not presented in a reasonable time, stop work upon seven days notice to the Owner. Failure of the Contractor to insist upon providing of this evidence at any one time shall not be a waiver of the Owner's obligation to make payment pursuant to this Agreement, nor shall it be a waiver of Contractor's right to request or insist that such evidence be provided at a later date.

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Owner shall remain financially responsible for all home-related obligations throughout the project, including but not limited to prompt payment of all mortgage or other loan payments, taxes and assessments, and will make no other act or omission which would lead to the delay or withholding of payments which may be made by any liability insurer.

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Making loan changes Owner's direct payment responsibilities to the Contractor

151 Owner will adequately insure all buildings as well as any work and materials used in the buildings against fire. The
152 policy will provide for extended coverage in the names of both the Owner and the Contractor. Owner will be responsible
153 for any damage caused to Contractor, its employees, agents and servants due to the neglect or other wrongful act of
154 Owner, Owner's employees, agents, servants, family members, invitees, etc. and shall indemnify Contractor for any such
155 losses, including reasonable attorney's fees.

156 Owner shall have no contract obligations to the Contractor's subcontractors and shall communicate with such
157 subcontractors only through the Contractor. Contractor may retain services of independent professionals such as
158 architects and engineers, the cost of said services to be billed as part of the contract price. Alternatively, Contractor may
159 require that Owner directly retain and be directly responsible for payment for any such services. Contractor shall not be
160 held responsible for any damages caused by independent professionals and Owner shall indemnify and hold Contractor
161 harmless for any such liability and costs, including reasonable attorney's fees.

162 Owner shall cause any other contractor who may have a contract with the Owner to perform work in the areas where
163 work will be performed under this Agreement, to agree to indemnify the Owner and Contractor and hold them harmless
164 for all claims for bodily injury or property damage that may arise from that contractor's operations.

166 13. OWNERSHIP OF MATERIALS/ACCESS TO WORK

167 Contractor will continue to own all materials delivered and all work performed until paid for by the Owner.
168 Contractor will have access to these materials and work at all reasonable times.

169 Owner shall grant free access to work areas for workmen and vehicles, and shall allow for Contractor's storage of
170 materials in use by Contractor on Owner's premises. Owner agrees to keep driveways clear and available for movement
171 and parking of Contractor's trucks and other vehicles during normal work hours.

173 14. ARBITRATION OF DISPUTES

174 All claims, disputes and other matters in question between the parties to this Agreement arising out of or in relation to
175 this Agreement or the breach thereof, except for claims which have been waived by the acceptance of final payment,
176 shall be decided by arbitration in accordance with the American Arbitration Association. This agreement to arbitrate shall
177 not apply to any claim of contribution or indemnity asserted by one party to this Agreement against the other party and
178 arising out of any action brought by a person who is under no obligation to arbitrate with either party. A notice of
179 demand by Owner shall be filed in writing with Contractor and with the Arbitration Board. The demand shall be made
180 within a reasonable time after written notice of the claim dispute or other matter in question has been given to Contractor.
181 The parties shall bear their own costs in connection with said arbitration. The award rendered by the arbitrator shall be
182 final and judgment may be entered upon it in accordance with applicable law.

184 15. ASSIGNMENT AND DELEGATION

185 Neither party may assign this Agreement, or payments due hereunder, without the written consent of the other party.

187 16. SEVERABILITY

188 If any of this Agreement is declared by a court of competent jurisdiction to be invalid, then the remaining provisions
189 of this Agreement shall remain in full force and effect, with all remaining provisions being fully severable. Further, if a
190 court determines that a provision of this Agreement is only partially invalid, then the court shall enforce that provision to
191 the maximum extent allowed by law.

192 17. GOVERNING LAW/ENTIRE AGREEMENT

193 This Agreement shall be governed by the law in effect in the State of New Jersey. This Agreement is the entire and
194 only agreement between the parties and cancels and replaces any agreements between them. This contract may only be
195 changed in writing and signed by both parties. ANY REPRESENTATIONS OR AGREEMENTS NOT IN THIS
196 AGREEMENT ARE OF NO EFFECT.

198 18. NOTICES

199 All notices under this Agreement must be in writing. The notices must be delivered personally or mailed by certified
200 mail, return receipt requested, to the other party at the address written in this Agreement.

202 19. ADDITIONAL PROVISIONS

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20. NOTICE TO OWNER/NOTICE OF CANCELLATION

Do not sign this contract in blank.

You are entitled to a copy of the contract at the time you sign.

Keep it to protect your rights.

Do not sign any completion certificate or agreement stating that you are satisfied with the entire project before this project is complete. Home repair contractors are prohibited by law from requesting or accepting a certificate of completion signed by the owner prior to the actual completion of the work performed under the home repair contract. The consumer hotline of the New Jersey Division of Consumer Affairs is (800) 242-5846.

You may cancel this Agreement at any time before midnight of the third business day after receiving a copy of this Agreement. If you wish to cancel this Agreement, you must either: (1) Send a signed and dated written notice of cancellation by registered or certified mail, return receipt requested; or (2) Personally deliver a signed and dated written notice of cancellation to: Kojeski Construction, Inc., 800 Cooper Road, Voorhees, New Jersey 08043, 856-424-6666.

If you cancel this Agreement within the three-day period, you are entitled to a full refund of your money. Refunds must be made within thirty days of the contractor's receipt of the cancellation notice.

Within ten business days after receipt of such notice of cancellation, you must make available to contractor at your residence, in substantially good condition as when received, any goods delivered to you under this Agreement; or you may, if you wish, comply with the instructions of the contractor regarding the return shipment of the goods at contractor's expense and risk. If you do make the goods available to the contractor and the contractor does not pick them up within twenty days of the date of your notice of cancellation, you may return or dispose of these goods without any further obligation. If you fail to make the goods available to the contractor, or if you agree to return the goods to the contractor and fail to do so, then you remain liable for performance of all obligations under the contract.

Witness or Attested by:

9-17-2012

(Date)

9-17-2012

(Date)

Martin J. Livesey Jr.

(L.S.)

Kojeski Construction, Inc.

Judith Vedutis

Owner/Agent

(L.S.)

Owner/Agent

Gibson Electrical and General Contractors, Inc.

1016 Jarvis Road
Sicklerville, NJ 08081

PH:(856)346-3388 FAX:(856)346-3308

Invoice

NJ License# 34EI01471800
NJ Home Improvement License# 13VH02797800
Phila License# 4168

Approved:

Date	Invoice #
12/19/2012	23438

Bill To

Judy Vedutis & Gary Brown
270 Chestnut Street
Westville, NJ 08093
856-217-1166

P.O. No.

C5665

Site Location

Judith Vedutis
270 Chestnut Street
Westville, NJ 08093
Lock Box 2975
Gary Brown (brother)856-217-1166

Description	Amount
<p>Work Performed by: Johnson/Hosgood 6/27/12 Work Order # 22568 Continued removing knob & tube wiring from basement area up the first floors. Installed new wiring as knob & tube was being removed. Rewired existing kitchen outlets and installed GFI outlets. Installed (1) new outlet for microwave. Installed outlets and switches in kitchen and rear first floor bedroom. Landed new circuits in panel. Prepared area for new service & panel. Project is now on hold until the problem with the roof and second floor is solved.</p> <p>Work Performed by: Johnson/Hosgood 6/28/12 Work Order #22569 Removed existing panel in basement and installed new 100 amp 20 circuit panel. Installed new Romex circuits and existing circuits in SD panel. Grounded panel and removed all trash. Installed (2) outlets in rear bedroom on a dedicated circuit. Need to return to wire 2nd floor after the decision about the roof and walls has been made. Also computer room needs (2) outlets installed after demo is complete.</p> <p>Work Performed by: Johnson/Hosgood 7/11/12 Work Order #22571 Continued removing knob and tube wiring and installing Romex through out the first floor. Removed knob and tube from the first floor ceiling and rewired lights and fans. Installed (3) outlets in middle room. Installed new switches for the middle room, bathroom, kitchen and rear rooms.</p> <p>Work Performed by: Johnson/Stafford 8/31/12 Work Order #22572 Removed knob and tube wiring that was feeding the 1st floor lights and 2nd floor areas. Refeed the 1st floor outlets, lights and fans through out the house. All old knob and tube wiring has been disconnected and removed. Rewired 1st floor outlets and installed new outlets in computer room.</p> <p>Work Performed by: Johnson/Hosgood 9/5/12 11/20/12 GEGC to rough in attic areas, after Kojeski has shelf built</p>	

Notes:
2011 National Electrical Code
Permit fees to be paid by others
All binding agreements must be in writing
Patching, spackling, and firestopping by others
Any and all reasonable and necessary legal fees needed to collect past due balances will be the responsibility of the customer.
(1.5% interest will apply to any past due balances)

Terms

NET 30

Subtotal
Sales Tax (7.0%)
Total
Payments/Credits
Balance Due

Gibson Electrical and General Contractors, Inc.

1016 Jarvis Road
Sicklerville, NJ 08081

PH:(856)346-3388 FAX:(856)346-3308

Invoice

NJ License# 34EI01471800
NJ Home Improvement License# 13VH02797800
Phila License# 4168

Approved:

Date	Invoice #
12/19/2012	23438

Bill To
Judy Vedutis & Gary Brown 270 Chestnut Street Westville, NJ 08093 856-217-1166

P.O. No.
C5665

Site Location
Judith Vedutis 270 Chestnut Street Westville, NJ 08093 Lock Box 2975 Gary Brown (brother)856-217-1166

Description	Amount
<p>Work Order #23438 Installed wiring for (6) convenience outlets and (5) ceiling fixtures. Also installed (4) switches. Ran (2) circuits from main panel to second floor area and installed wiring for a dust to dawn exterior fixture. Will return for final and extras when ready. Rewire and install ceiling fan in Judy's room \$195.00 Work Performed by: Johnson/Hosgood 11/20/12 Work Order #23622 Started final wiring. Rewires fan in front bedroom. Installed new supports and box for ceiling fan. Also reinstalled fan. Installed GFI outlet and rewired door bell transformer. Checked basement and secured wires with staples as needed. Note: the second floor was not ready for final wiring. Customer will call when he is ready. Received check for \$3,000.00. Final balance is \$1,247.68 Work Performed by: Johnson/Alfano 12/20/12 Work Order #23744 Completed electrical work and prepared 2nd floor for final inspections. Installed two head motion detectors on rear 2nd floor exterior wall. Homeowner will mail balance \$1,247.68 Work Performed by: Johnson/Hosgood 2/7/13</p>	

Notes:
2011 National Electrical Code
Permit fees to be paid by others
All binding agreements must be in writing
Patching, spackling, and firestopping by others
Any and all reasonable and necessary legal fees needed to collect past due balances will be the responsibility of the customer.
(1.5% interest will apply to any past due balances)

Terms
NET 30

Subtotal	\$4,247.68
Sales Tax (7.0%)	\$0.00
Total	\$4,247.68
Payments/Credits	\$-3,000.00
Balance Due	\$1,247.68

Kojeski Construction Co.
 800 Cooper Road
 Voorhees N.J. 08043

Vedutis
CONTRACT CHANGES

<u>DATE</u>	<u>ORIGINAL CONTRACT AMOUNT</u>	\$26,900.00
	<u>EXTRAS TO DATE</u>	\$217.00
	<u>CREDITS TO DATE</u>	\$0.00
	<u>TOTAL REVISED CONTRACT AMOUNT</u>	\$27,117.00
9/17/2012	<u>PAYMENT #1</u>	\$2,900.00
	<u>PAYMENT #2</u>	\$0.00
	<u>PAYMENT #3</u>	\$0.00
	<u>PAYMENT #4</u>	\$0.00
	<u>PAYMENT #5</u>	\$0.00
	<u>PAYMENT #6</u>	\$0.00
	<u>PAYMENT #7</u>	\$0.00
	<u>PAYMENT #8</u>	\$0.00
	<u>PAYMENT #9</u>	\$0.00
	<u>PAYMENT #10</u>	\$0.00
	<u>PAID TO DATE</u>	\$2,900.00
	<u>BALANCE DUE</u>	\$24,217.00

Kojeski Construction Co.
800 Cooper Road
Voorhees N.J. 08043

Vedutis
EXTRAS

<u>DATE</u>	<u>DESCRIPTION</u>	<u>QUANTITY</u>	<u>EACH</u>	<u>TOTAL COST</u>
10/31/2012	Permit			\$217.00
			<u>TOTAL TO</u>	<u>\$217.00</u>
			<u>DATE</u>	

Kojeski Construction Co.
800 Cooper Road
Voorhees N.J. 08043

Vedutis
CREDITS

<u>DATE</u>	<u>DESCRIPTION</u>	<u>QUANTITY</u>	<u>EACH</u>	<u>TOTAL COST</u>
				\$0.00
				\$0.00

TOTAL TO
DATE \$0.00